



CITY OF *Lethbridge*

Office of the City Clerk

March 29, 2023

RE: NOTICE OF HEARING - SUBDIVISION AND DEVELOPMENT APPEAL BOARD

An appeal has been filed against the Development Permit issued by the Development Officer on March 8, 2023 to allow the construction of a detached garage with secondary suite at 23 Trent Road West.

When an appeal is filed with the Subdivision and Development Appeal Board (SDAB), all persons who own property within 200 feet or 60 meters of the development are notified of the hearing by way of this letter. In addition, the owner of the property will also receive a copy of this letter.

The Subdivision and Development Appeal Board (SDAB) will hold a Public Hearing as follows:

DATE:	Thursday, April 20, 2023
TIME:	5:00 p.m.
LOCATION:	Council Chambers, Main Floor, City Hall 910 – 4 Avenue South

Persons affected by this development have the right to present a written, verbal and/or visual submission to the Board. When making a presentation, keep in mind that in accordance with the legislation that governs the SDAB, the Board can only consider relevant planning matters when rendering its decision. It is recommended that you limit your presentation to five minutes.

If you wish to submit written material to the Board, it should be delivered to the Secretary of the SDAB via email at david.sarsfield@lethbridge.ca, **including your full name and mailing address** no later than 12:00 noon on the Tuesday prior to the hearing. If you are unable to meet this submission deadline, please bring 12 copies of the materials to the Hearing and it will be distributed at the start of the Hearing. Any written and/or visual material received will be made available to the public.

We will be pleased to answer any questions you may have regarding the appeal and can also provide information or advice on Board procedures and how to make presentations to the Board. Please feel free to contact me at 403 329 7329 if you have any questions.

Yours truly,

A handwritten signature in black ink, appearing to read "D Sarsfield".

David Sarsfield
Board Secretary,
Subdivision and Development Appeal Board



City of
Lethbridge

NOTICE OF APPEAL
Subdivision & Development Appeal Board

In accordance with sections 678 and 686 of the *Municipal Government Act* and The City of Lethbridge Bylaw 4749, an appeal to the Subdivision and Development Board must be filed within the legislated time frame.

Site Information		(Date Received Stamp)
Municipal Address of Appeal 23 TRENT RD W		
Legal Description of Site (must be completed for subdivision appeals) 7710684-22-10		
Development Application Number or Subdivision Application Number DEV 14262		
Appellant Information		
Name Donnie Kostek		(Office use Only)
Mailing Address 24 TRENT RD W.		
City Lethbridge	Province AB	Postal Code T1K 4N3
Residence # 403-381-1835	Business #	Email dkostek@telus.net

APPEAL AGAINST (Check One Box Only) for multiple appeals you must submit another Notice of Appeal

Development Permit	Subdivision Permit	Notice of Order
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Conditions of Approval <input type="checkbox"/> Refusal	<input type="checkbox"/> Approval <input type="checkbox"/> Conditions of Approval <input type="checkbox"/> Refusal	<input type="checkbox"/> Notice of Order

REASONS FOR APPEAL Sections 678 and 686 of the *Municipal Government Act* require that the written Notice of Appeal must contain specific reasons for the appeal.

The grounds for this appeal are as follows:

* SEE ATTACHED LETTER

- Too much congestion - single family owner occupied homes in a minority

- Two story structure proposed in single story only neighbourhood. - Poor fit.

- Will block my view of Sheridan Park. (Attach a separate page if required)

This Personal information is collected under the authority of the Freedom of Information and protection of Privacy Act, Section 33(c) and the Municipal Government Act, Sections 6788 and 685 Note: **This information will form part of a file available to the public**, if you have any questions regarding the collection of this information, contact the FOIP Coordinator at (403) 329-7329.

Signature of Appellant 		Date 2023 03 17
FOR OFFICE USE ONLY		
Final Date of Appeal YYYY MM DD	Appeal Number	Hearing Date YYYY MM DD
		Date Appellant Notified YYYY MM DD

Takeda/Kostek

From: Takeda/Kostek <dkostek@telus.net>
Sent: February 24, 2023 10:41 AM
To: 'planninganddesign@lethbridge.ca'
Cc: 'brendadewar@hotmail.com'
Subject: Secondary Suite Development at 23 Trent Rd

My concerns regarding this proposal are:

1. Trent Road density has increased dramatically over the past few years. Single family owner occupied homes are in the minority.
2. There is already a proliferation of secondary suites and rooming houses. Parking is congested and traffic has increased. Although many offer off street parking everyone tends to park on the street.
3. Suite over garage building will appear as an eyesore two story structure in a single story only neighbourhood.
4. Potentially will block my view of Sheridan Park.

Please reject this proposal.

Thank you,
Don Kostek
24 Trent Road West
403-381-1835

March 27, 2023

Re: Appeal Secondary Suite at 23 Trent Road West, Lethbridge AB

Permit # DEV14262

Attention: David Sarsfield

Dear David,

I have some serious concerns regarding the development at 23 Trent Road

First: Density and Parking

Since I bought my property in 1987 the density on the street has increased 10 fold. More than half the houses on the street are rental and although I am not opposed to rental property I have to question the logic of having multiple suites in a neighborhood that is designated low density single family dwelling. For example the property next to me, number 11 was once a single family home. It now has a suite in the basement which seems to be the norm now in my neighborhood. I have had cars block my driveway and my neighbor's driveway. I have seen cars parked on the sidewalk, even parallel parked on it. I have seen cars block the sidewalk causing pedestrians including children to go out onto the street to get around the vehicle. I have also noticed an increase of cars speeding down our relatively short residential street. My understanding is that there will be 3 suites at number 23 therefore how many more cars and how many more people? I am confident that with more suites the problem will get considerably worse.

Second: Property Value

When I purchased my home I did so because I liked the quiet residential neighborhood, single family well-kept homes that backed onto a park. Over the years it has become more and more transient. It has resulted in drug related crimes, un-kept yards with no regard for other people's property. I think that the property values will decrease as a result of the many multiple suites on our street, I know that this is not one of the more affluent neighborhoods in the city but those of us who own our properties take pride in our homes and our community. I cannot say the same for some of the rental properties. I feel as if the city is putting their wants and needs before those of us that live in the neighborhood. I believe it is about the amount of money the city will rake in, as well as the money the developer stands to gain, not to mention the money that the owner of #27 made on the sale of the property. We the residents and tax payers stand to gain nothing! Authorized Waiver Section 22(4) States that accessory buildings would NOT materially interfere or affect the use, enjoyment of or value of neighboring properties. My neighbor spoke to a realtor and he expressed that in his experience single family homes are more difficult to sell when next to a rental property with a detached garage having a secondary suite above. He also stated that an area with high density due to a variety of rentals does affect the neighborhood demographics.

Third: Aesthetics

Trent road and the surrounding area have bungalows, split entry, duplexes and 4 level splits with garages that measure not more than 5.18m so then why are we permitting something that will be almost 3 m taller than that? Why would you allow something of that height in our neighborhood? It will

stand out like a sore thumb. It will definitely not fit in with the design of the neighborhood? Neighbors beside, adjacent and down the road will have to look at this eyesore.

Fourth: Future Consideration

If this secondary suite above a garage is approved when does it stop? How many more of these monstrosities will we and others have to deal with? I believe it will open the door to unlimited developments causing more congestion, strain on the resources, infrastructure and utilities.

Fifth: Residential Concern:

Although this is fifth on my list it is perhaps my biggest concern. I understand that of the people who responded to your original notification on this development, in the area surrounding Sheridan Park 4 people wrote letters opposing and 3 residents expressed opposition and concern. 10 residents on Trent Road wrote letters opposed to the development and 1 was in favor of the development. It is interesting to point out that the resident in favor (who lives at #27) of the development at #23 sold the property to the developer and is also friends and business associates with him. I ask what the purpose of sending out the notice of future development is when it seems to just be a gesture and not really meaningful. When 16 out of 17 of the respondents were opposed to the development it is still passed. We the residents who live and pay taxes in the area appear to have no voice. The decisions were made by someone who sits at a desk at city hall and has no clue what it's like to live in our neighborhood. Democracy in its simplest terms means "a way of governing which depends on the will of the people!" Where I ask is the democracy in this? It gives the appearance of a token gesture instead of a means to find resolution. When the majority of the respondents are against it how can it pass? I implore you to please listen to our concerns as tax payers that not only live in the neighborhood but ones who love our neighborhood. I ask that you vote to deny the secondary suite above the garage at #23.

Respectfully Submitted,



**Colleen Brooks
15 Trent Road West
Lethbridge, Alberta
403-381-7366**



CITY OF
Lethbridge

NOTICE OF APPEAL
Subdivision & Development Appeal Board

In accordance with sections 678 and 686 of the *Municipal Government Act* and The City of Lethbridge Bylaw 4749, an appeal to the Subdivision and Development Board must be filed within the legislated time frame.

Site Information		(Date Received Stamp)
Municipal Address of Appeal <i>23 Trent Rd. W</i>		
Legal Description of Site (must be completed for subdivision appeals) <i>7710684; 22; 10</i>		
Development Application Number or Subdivision Application Number <i>Permit No. Dev 14262</i>		
Appellant Information		
Name <i>George + Brenda Dewar</i>		(Office use Only)
Mailing Address <i>19 Trent Rd. W.</i>		
City <i>Lethbridge</i>	Province <i>Alberta</i>	
Residence # <i>403-381-1653</i>	Business # <i>—</i>	Email <i>brendadewar@hotmail.com</i>

APPEAL AGAINST (Check One Box Only) for multiple appeals you must submit another Notice of Appeal

Development Permit	Subdivision Permit	Notice of Order
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Conditions of Approval <input type="checkbox"/> Refusal	<input type="checkbox"/> Approval <input type="checkbox"/> Conditions of Approval <input type="checkbox"/> Refusal	<input type="checkbox"/> Notice of Order

REASONS FOR APPEAL Sections 678 and 686 of the *Municipal Government Act* require that the written Notice of Appeal must contain specific reasons for the appeal.

The grounds for this appeal are as follows:

Please see attachments

(Attach a separate page if required)

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Signature of Appellant <i>G. Dewar + Brenda Dewar</i>		Date YYYY MM DD <i>2023 03 22</i>
FOR OFFICE USE ONLY		
Final Date of Appeal YYYY MM DD	Appeal Number	Hearing Date YYYY MM DD
		Date Appellant Notified YYYY MM DD

Our reasons for this appeal:

1. Our residential area under 9a(i) in city documents, indicates that Trent Rd. & around Sheridan Park is R-CI-Low Density Residential.

Therefore, allowing a secondary suite over a detached garage is in contradiction of this areas design!

2. Division 6- Residential Districts 4(a) states accessory buildings are to have design & appearance that is in accordance with the Residential District.

Again, homes on Trent Rd. & those surrounding Sheridan Park are bungalows, split entry, 4 level splits with all detached garages to height of 5.18m. Why, then a detached garage with a secondary suite above to a max. height of 7.6m.?

3. Authorized Waiver - section 22(4) states that accessory buildings would NOT materially interfere or affect the use, enjoyment of or value of neighboring properties.

a) After speaking with a realtor, he said from his experience, single family homes are generally more difficult to sell when next to a rental property with a detached garage having a secondary suite above.

b) Generally, he expressed that an area with high density due to a variety of rentals does affect neighborhood demographics possibly attracting more lower income people.

Therefore, the value of adjacent properties; ours & others, would be negatively affected!

c) Because of the above, we feel the value of our property at 19 Trent Rd. would be devalued; as well as others adjacent or with actual view of this. Also, who would consider a single-family home that is over shadowed by a garage with a secondary suite above!

d) Our enjoyment, from lack of privacy with this tall structure well above regular height would be compromised (with or without windows facing north).

e) Plus increased amount of shade due to the height. We have had fruit trees & a productive garden for over 40 yrs.

4. Density has increased with the proliferation of secondary suites & rooming houses being approved on Trent Rd. W. Again, the area was designated as low-density single-family dwellings. Due to the approval

of more of these rentals there has become a huge imbalance in family owned homes (10 on Trent now have some type of rental situation). With the change, parking congestion has increased ; even though landlords must meet parking requirements; one off-street parking spot for each room/suite on that lot. Reality is excessive vehicles have overflowed onto the street.

5. Aesthetics or "beauty" of our property & the appearance to neighbors as well as those who use & enjoy Sheridan Park (who are many) will be shocked to view this high out of place structure.

6. Previous letters sent in to "Design & Development" Department indicated that 10 residents on Trent Rd. opposed the development. 1 adjacent who sold #23 to the developer was in favor & 2 were indifferent.

Neighbors surrounding Sheridan Park: 4 wrote letters opposing, while 3 others expressed opposition & concerns.

Reasons we were attracted to build/buy here:

1. Sheridan Park was planned with playground & ball diamond.
2. Homes were single-family therefore low-density housing on Trent Rd. with only 2 planned duplexes.
3. Quiet, local traffic from approximately 23-25 single family homes planned for this area.

Benefits to Others:

1. City tax revenue increases.
2. Landowner benefits with more rental income.

If this garage with a secondary suite above is approved disregarding the opposition, it opens the door to allow more of these developments in this area making it even more congested & also causing further draw on all existing utilities and infrastructure.

Respectfully submitted,


George & Brenda Dewar

I would like to point out that this application to build a double garage with a secondary suite will only benefit the landlords themselves and not any of the neighborhood in this area. Of course, the city of Lethbridge will benefit from the additional tax revenues, thus giving them reasons to allow for such proposals. The homes next door and possibly around the neighborhood will most likely be devalued. This 2 storey garage will be free standing, therefore, very out of place!

Every existing garage along Trent Rd., Simon Fraser Rd. & Selkirk Rd. are all single storey garages which complied with the building regulations at the time. The new building codes have not considered that existing owners/renters in this area may not want a garage with secondary living quarters above.

The new vision, goals, and policies of the new Municipality Development Plan should and must consider the impacts on existing properties. We don't understand any benefit from these changes or how they would even be considered.

The new garage with a secondary suite at 23 Trent Rd will most likely decrease our home's value and other homes in the area. Plus, who wants to be surprised by these newly drawn bylaws seeming to benefit only a few, and not the home owners nearby who now have to live with this two storey eyesore! Also, who would enjoy the pleasure of having people looking over into your home & yard?

Please consider such garages with a secondary suite in your neighborhood, next door, to better understand our frustration.

G. D. —————

B. Dewar

In brief, the planning allowing a double garage with a secondary suite next to our lot is at our expense. Why? Is it because a new planning commission has drawn it up? Is it because developers want to get more rental money from their property or the city wants the tax money? The attitude of who cares if yards are cut down to nothing, while neighborhoods get reduced views of the park & those enjoying Sheridan Park view this eyesore. This proposal seems to override past policies.

Trent, Ryerson, Simon Fraser, Selkirk already have too many rentals on their streets, as you are aware & probably agree so I think you should take this idea out of the city planning & stop wrecking the area now! Think about how this structure would look in our area having fewer trees and more openness than other city areas. At least think how the detached garage with a suite above that is being built behind a well-established home will affect the appearance in this established neighborhood.

Also, consider the many homes that may already be for rent on the westside, etc. so why is this rental concept allowed when there are lots of available units to rent closer to the U of L and other amenities.


B. Dewar

March 21, 2023

Re: Appeal Secondary Suite at 23 Trent Road West, Lethbridge, AB

Permit No. DEV14262

Attn: David Sarsfield

Dear David,

I have some serious concerns with the above development.

First: Density/Parking

There are more and more people living in this area due to people adding rental suites and accommodating more people living on the same property. I understand at 23 Trent Road West there will be renters in the upper and lower parts of the house and if you allow a third suite about the garage I wonder how many people will actually be residing on this property.

As an example - previously in the rental house next to me they had the upstairs and downstairs rented. A total of 6 cars were parked there - 4 for students upstairs and 2 for people living in the basement suite and the property only has room for 3 cars to park.

Currently in our area about half of the properties are rentals with several individual living on one property.

Due to this increasing population in the area there is definite concern with the parking. Often times the street is filled with people who already live in the area. As a direct result of the parking issue I have had to deal with people who park in my driveway or in front of my driveway. I have had many conversations with the drivers, owners of rental property whose tenants have been the offenders and left notes on vehicles not to use my driveway as a parking spot or to block my driveway. I have endured comments like "I am only going to be a few minutes" and they continue to do so with no respect for my property. I have had neighbours who could not park in front of their house contact me for permission to park on my driveway or in front of it. If more suites go in and more visitors come to the area I am positive this situation for me is going to get considerably worse.

Second: Value of house and Possibility of Resale

When I bought my house in 1993 I did so after much consideration to the type of residential area this was. It had many single family homes and was a quiet neighbourhood. I worry that when I sell my property it will be much devalued as many people are looking for a more stable environment and not one where as some neighbours have commented - "the houses on this block are one sale away from renters!"

As things are changing I have now installed security cameras as we have more of a transient population and have dealt with drug related crimes in my neighbourhood. If things get more crowded and transient, I may need to search for another place that gives me what I chose this property.

My concern is that other buyers may not see this area as a desirable area to buy.

Third: Style

In this area are bungalows and regular size garages which is within the guidelines set out by the city, so why are you allowing a taller structure? I have seen these types of buildings and this is not a similar design of what is in our area.

Fourth: Residential Concern

From my understanding of the people who responded to the survey of this property and the development of the suite above the garage that all but one are opposed to this moving forward. I wonder with that amount of opposition how this development is allowed to proceed.

Fifth: Future Consideration

If this secondary suite above a garage is allowed to go forward then the door is opened to allow more of these developments in the area which will make things even more congested. There would be more draw on the resources currently in place.

Respectfully Submitted

A handwritten signature in cursive script that reads "Betty Upton". The signature is written in black ink and is positioned to the left of the typed name.

Betty Upton
28 Trent Road West
Lethbridge, AB
PH:403.382.7965



CITY OF
Lethbridge

NOTICE OF APPEAL
Subdivision & Development Appeal Board

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Site Information		(Date Received Stamp)
Municipal Address of Appeal 23 TRENT ROAD WEST		
Legal Description of Site (must be completed for subdivision appeals) 7710684; 22' 10'		
Development Application Number or Subdivision Application Number DEV 14262		
Appellant Information		
Name CRISTINA VENIAUX		
Mailing Address 52 TRENT ROAD WEST		
City LETHBRIDGE	Province AB	Postal Code T1K 4N3
Residence # 403-328-0569	Business #	Email

APPEAL AGAINST (Check One Box Only) for multiple appeals you must submit another Notice of Appeal

Development Permit	Subdivision Permit	Notice of Order
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Conditions of Approval <input type="checkbox"/> Refusal	<input type="checkbox"/> Approval <input type="checkbox"/> Conditions of Approval <input type="checkbox"/> Refusal	<input type="checkbox"/> Notice of Order

REASONS FOR APPEAL Sections 678 and 686 of the *Municipal Government Act* require that the written Notice of Appeal must contain specific reasons for the appeal.

The grounds for this appeal are as follows:

TRENT ROAD WAS AT ONE TIME A VERY TRANQUIL STREET & NEIGHBORHOOD BUT OVER THE YEARS HAS DRASTICALLY CHANGED AND NOT FOR THE BETTER. SO MANY SUITES ADDED MAKING FOR MANY PARKING ISSUES UP & DOWN THE ENTIRE STREET. HARD TO BELIEVE A CITY WOULD APPROVE ALL THIS EXCEPT TO GET MORE TAXES. VERY SAD NOT TO THINK OF THE RESIDENTS THAT DEAL WITH ALL THIS.

DEFINITELY NOT LOW DENSITY.

(Attach a separate page if required)

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Signature of Appellant <i>[Signature]</i>		Date 2023 03 10 21
FOR OFFICE USE ONLY		
Final Date of Appeal YYYY MM DD	Appeal Number	Hearing Date YYYY MM DD
		Date Appellant Notified YYYY MM DD

Address: **23 TRENT RD W**
Legal: 7710684;22;10

District: R-L

Applicant: VANDENBERG, BRAD
Address: 4410 SUNDANCE DRIVE COALHURST AB T0L 0V2

Phone: 403-359-3535

Development Proposed To construct a detached garage with secondary suite

District ACCESSORY BUILDINGS - RES

Land Use SECONDARY SUITE, NEW - PERMITTED

CONDITIONS OF APPROVAL

1. The single detached dwelling with secondary suite shall be developed in accordance with the plans submitted January 9, 2023. Any change to these plans requires the approval of the Development Officer.
2. A minimum of three off-street parking stalls (2 for the single detached dwelling and 1 for the secondary suite) shall be provided and maintained at all times.
3. The exterior appearance of the detached garage shall be in accordance with the plans submitted January 9, 2023 to the satisfaction of the Development Officer.

Decision Date

Mar 08, 2023

Valid Date

Apr 04, 2023

Development Commencement

Provided this decision is not appealed, development shall commence:

- on or after the valid date, and
- within one year of the valid date.

Development may commence before the valid date only if the applicant has signed the "Voluntary Waiver of Claims" and is in receipt of this signed permit.



Development Authority

JOSHUA BOURELLE, DEVELOPMENT OFFICER

STATUTORY PLANS

The SSRP and applicable municipal statutory plans were considered in rendering this decision.

COMPLIANCE WITH OTHER LAWS AND AGREEMENTS

The City of Lethbridge assesses applications according to the development requirements and standards of the Land Use Bylaw in force at the time of application. This Development Permit does not relieve the owner, the applicant, or the owner's authorized agent from full compliance with (i) the terms and conditions of any easement, covenant, building scheme or other agreement affecting the property, or (ii) the requirements of any other applicable laws and regulations.

APPEALS

The applicant has the right to appeal this decision to the Subdivision and Development Appeal Board. An appeal shall contain a statement of the grounds of appeal and shall be delivered either personally or by Registered Mail so as to reach the Secretary of the Subdivision and Development Appeal Board not later than twenty-one (21) days after the decision date indicated on the Development Permit or 'Development Permit Application - Refused' letter.

Permits which were the subject of a license, permit, approval or other authorization granted by the Natural Resources Conservation Board, Energy Resources Conservation Board, Alberta Energy Regulator, Alberta Energy and Utilities Board, Alberta Utilities Commission, or by the Minister of Environment and Parks must be appealed through the Land and Property Rights Tribunal.

FOIP

The personal information provided as part of this permit is collected under the Alberta Municipal Government Act and in accordance with section 33(c) of the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing permits, Land Use By-law 6300 compliance verification and monitoring, and property assessment purposes. The name of the permit holder and the nature of the permit is available to the public upon request and may be revealed in public appeal processes.

If you have questions about the collection or use of the personal information provided, please contact Information Management at 910 4 Ave S Lethbridge, AB, T1J 0P6 or phone at (403) 329-7329, or email planninganddesign@lethbridge.ca.

Permit No. DEV14262

Development Permit Application

Low Density Residential - Single Detached Dwelling, Two-Unit, Secondary Suite

All of the following information is necessary to facilitate a thorough and timely evaluation and decision of your application. All materials submitted must be clear, legible and precise. Only applications that are complete will be accepted. **PLEASE NOTE: this application is ONLY for a development permit. If a building permit is also required, you must apply for it separately.**

Project Address

Access Code

Applicant

Name _____

Address _____

City _____ Postal Code _____

Phone _____

E-mail _____

Signature _____

Property Owner

Name _____

Address _____

City _____ Postal Code _____

Phone _____ B/L # _____

E-mail _____

Signature _____

Providing an email means you consent to receiving documents or communications related to this application, including but not limited to development permit decisions, acknowledgments confirming an application is complete, an any notices identifying any outstanding documents and information, by email.

Does the property have any registrations on title? Yes No
 Have you reviewed any registrations on title? Yes No



As the applicant I affirm:

- I am the registered owner of the above noted property
- I have entered into a binding agreement to purchase the above noted property with the registered owner(s)
- I have permission of the registered owner(s) of the above noted property to make the attached application for a Development Permit

Description of Work:

Has a dwelling(s) existed on this lot previously? Yes No
 Is a waiver required? Yes No
 Square footage of dwelling(s) (not including basement and garage spaces) 62 m²

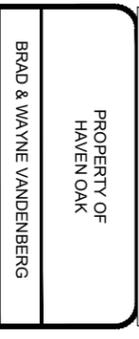
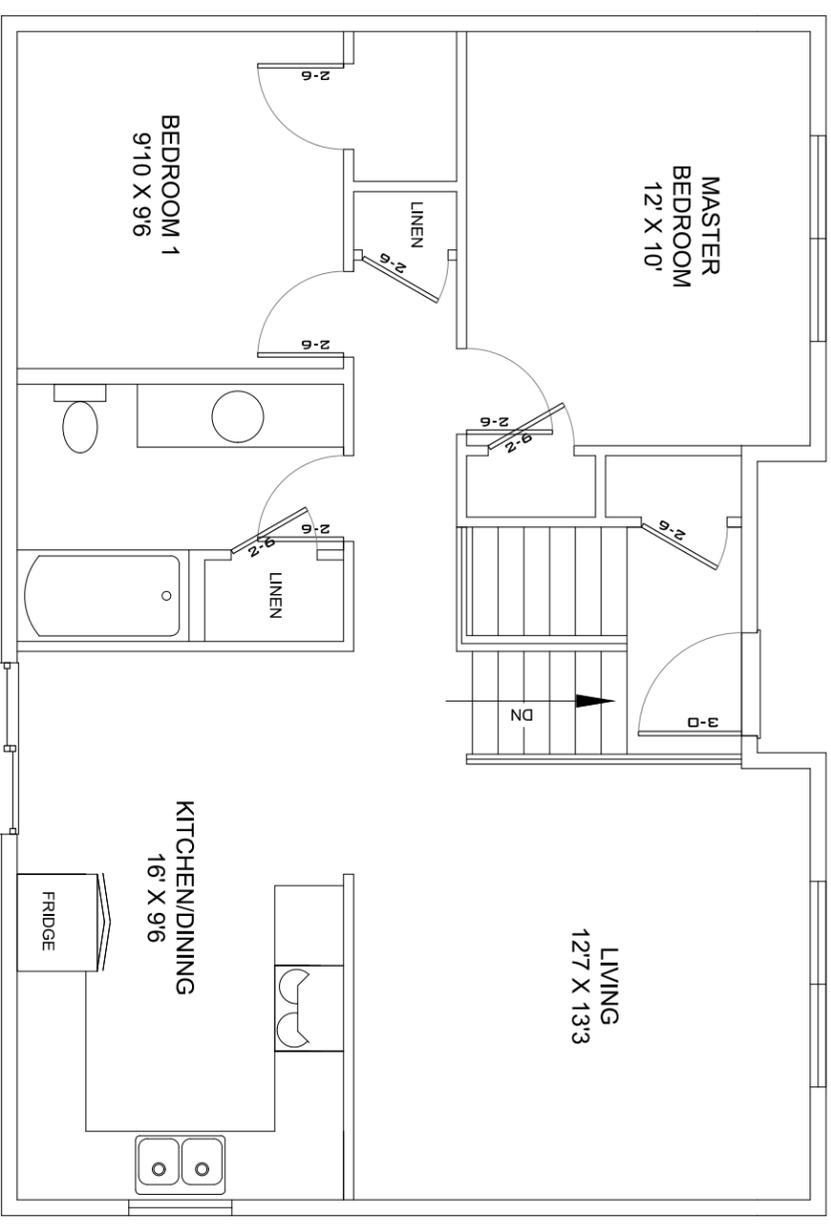
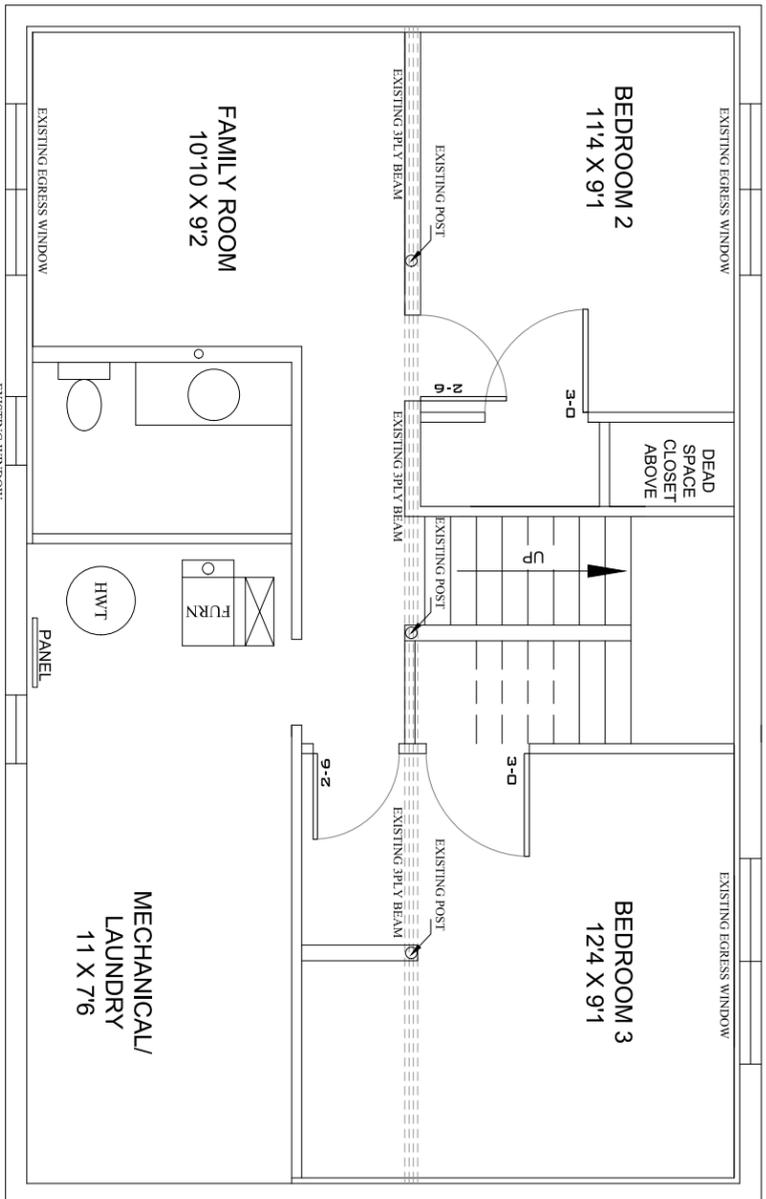
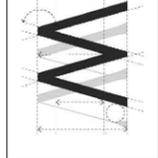
Type of Work Being Performed: (Check all applicable)

- | | | | |
|---|--|---|--|
| <input type="checkbox"/> Single Detached Dwelling | <input type="checkbox"/> Two-Unit Dwelling | <input type="checkbox"/> Secondary Suite (<input type="checkbox"/> Existing) | <input type="checkbox"/> Addition |
| <input type="checkbox"/> Attached Garage | <input type="checkbox"/> Detached Garage | <input type="checkbox"/> Shed | <input type="checkbox"/> Carport |
| <input type="checkbox"/> Covered Deck | <input type="checkbox"/> Uncovered Deck | <input type="checkbox"/> Fence (Over-height) | <input type="checkbox"/> Compliance Waiver |

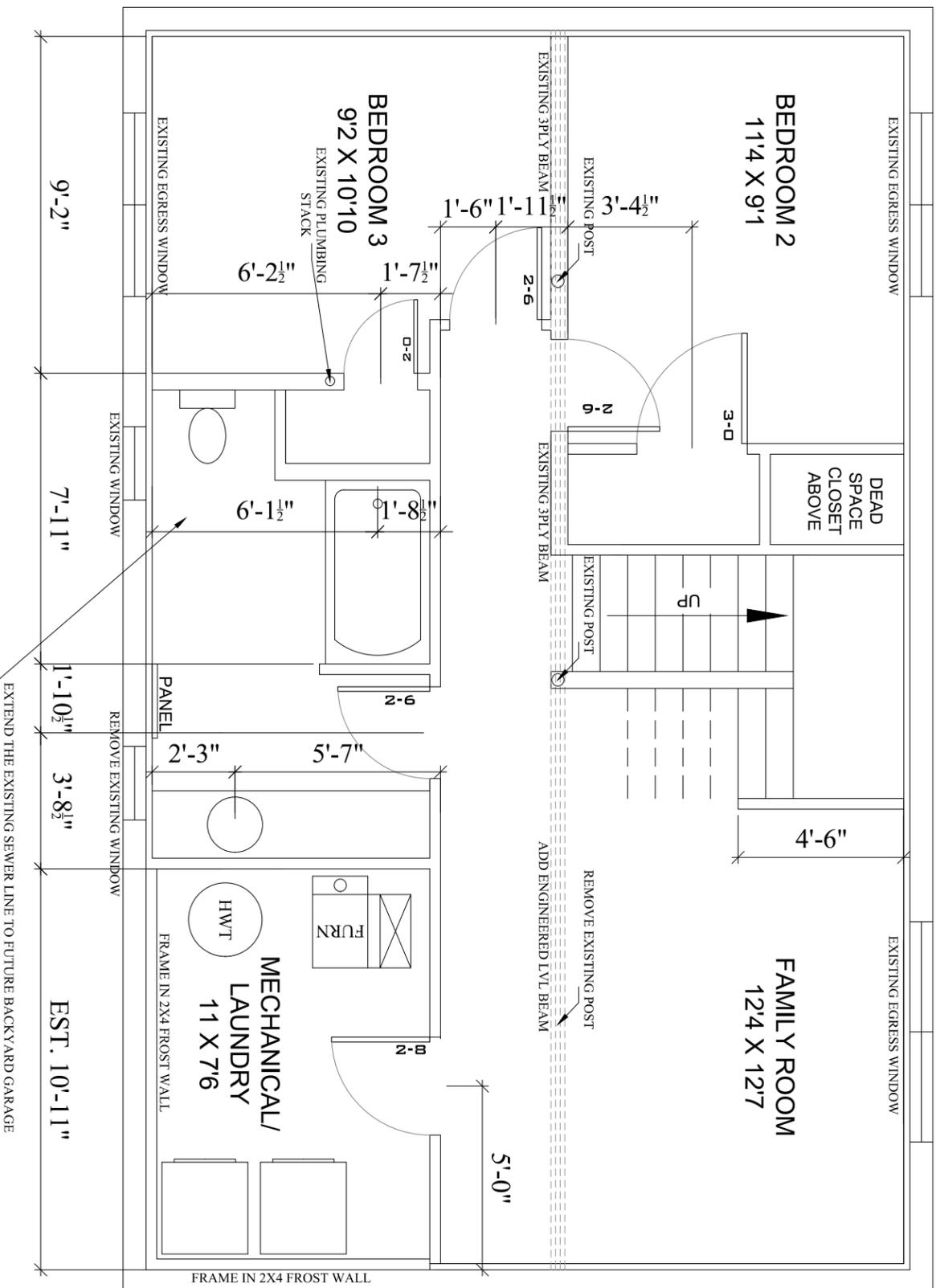
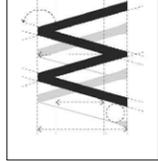
Detailed Description of Work:

Office Use Only		Development Fees to be charged	
Permit Required	<input type="checkbox"/> Yes <input type="checkbox"/> No	Overlay	_____
Zoning	_____	Development Permit #	_____
Allowable Use	<input type="checkbox"/> Permitted <input type="checkbox"/> Discretionary	Building Permit #	_____
		Permit Fee	_____
		Advertising Fee	_____
		Total	_____

Any personal information collected on this form is collected under the Municipal Government Act and in accordance with the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing permits and planning & development purposes. Please Note that such information may be made public. If you have any questions about the collection, use, or disclosure of the personal information provided, please contact Information Management at 910 4 Ave S, Lethbridge, AB, T1J 0P6 or by phone at 403-329-7329



23 TRENT ROAD W, LETHBRIDGE



NEW BASEMENT PLAN

SCALE: 1/4" = 1'-0"

23 TRENT ROAD W, LETHBRIDGE

HAVEN OAK	Sheet
NOVEMBER 28, 2022	A.2
Scale: 1/4"=1'-0"	

WALL TO WALL DESIGN
 RACHELLE WALL
 P: 403.315.4561
 E: rachelle.wallovall@gmail.com

PROPERTY OF
 HAVEN OAK

BRAD & WAYNE VANDENBERG

CONTACT:
 BRAD: 403-359-3535
 WAYNE: 403-795-4161
 EMAIL: homes@havenoak.ca

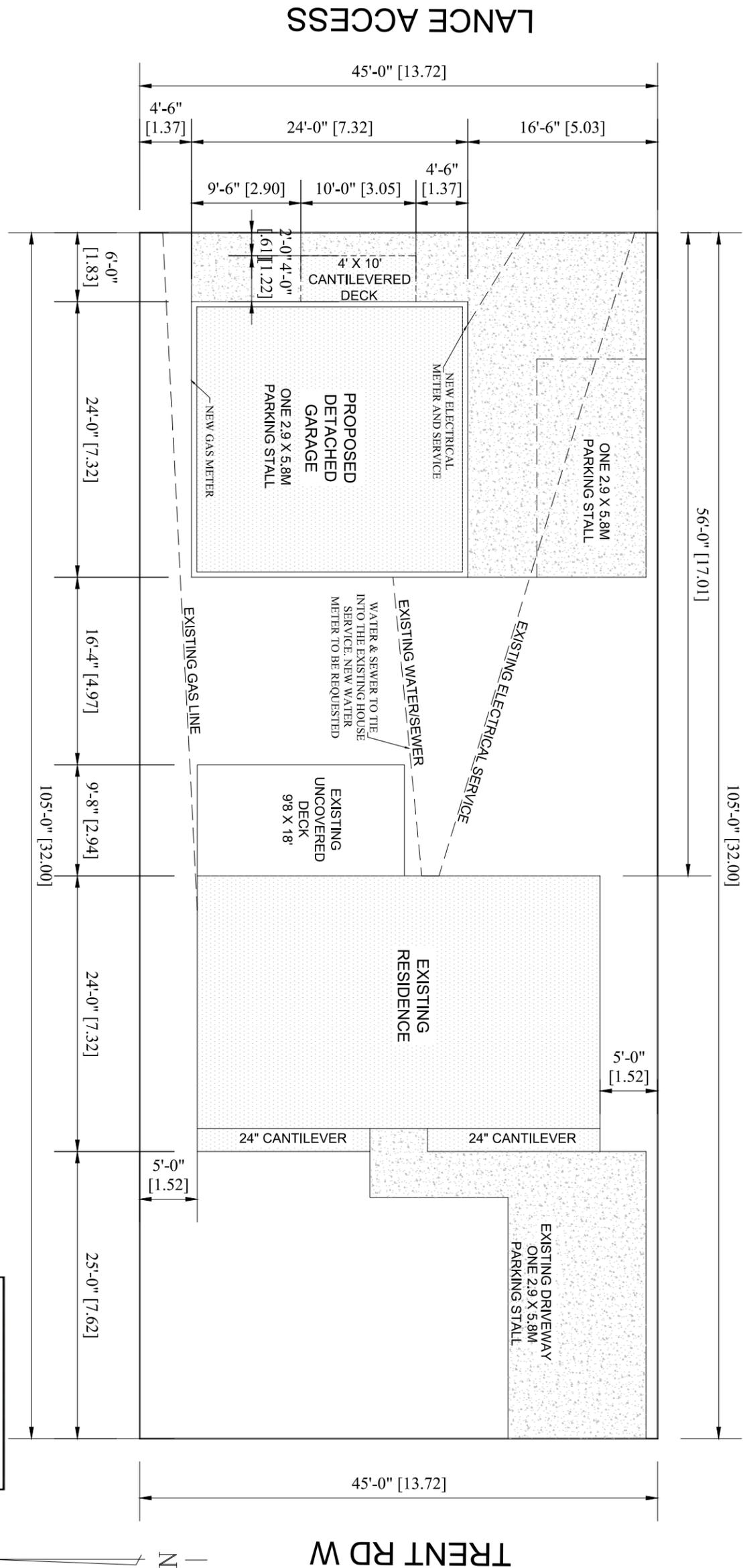
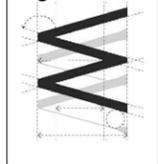
Havenoak

CITY OF Lethbridge

APPROVED

AS PER
 LAND USE BYLAW 6300
 March 8, 2023

Date: _____
 Permit #: **DEV14262**
 Development Officer: *Stella*



*** ANY CONCRETE FLOORS (BASEMENT OR GARAGE) TO BE ON A MINIMUM 6" COMPACTED GRAVEL FILL OR UNDISTURBED SOIL.
 *** CONTRACTOR TO VERIFY ALL CONDITIONS, DIMENSIONS AT THE JOB SITE AND NOTIFY WALL TO WALL DESIGN OF ANY ERRORS, OF DISCREPANCIES PRIOR TO STARTING WORK.
 *** ANY STRUCTURAL ENGINEERING REQUIRED BY PLAN REVIEWER/CODE REQUIREMENTS ARE AT THE RESPONSIBILITY OF THE BUILDER

* detached Garage with Secondary suite
 ** 12.19% accessory building parcel coverage

SITE PLAN
 SCALE: 3/16" = 1'-0"

23 TRENT ROAD W, LETHBRIDGE

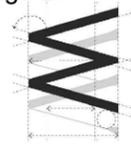
CITY OF Lethbridge
APPROVED
 AS PER
LAND USE BYLAW 6300
 March 8, 2023

Permit # **DEV14262**
 Date: _____
 Development Officer: *[Signature]*

HAVEN OAK JANUARY 9, 2023	Sheet A.1
Scale: 3/32=1'-0"	
SQUARE FEET SUMMARY	GARAGE: 576 UPPER LEVEL: 576 BASEMENT: N/A
LOT: 22	
BLOCK: 10	ADDRESS: 23 TRENT RD W LETHBRIDGE AB
PLAN: 7710684	
WALL TO WALL DESIGN RACHELLE WALL P: 403.315.4561 E: rachelle.walltowall@gmail.com	
PROPERTY OF HAVEN OAK	
BRAD & WAYNE VANDENBERG	
CONTACT: BRAD: 403-359-3535 WAYNE: 403-795-4161 EMAIL: homes@havenoak.ca	
Havenoak	

- SHEET LIST:**
- A-1 SITE PLAN
 - A-2 FOUNDATION/MAIN FLOOR PLAN
 - A-3 UPPER FLOOR PLAN
 - A-4 ELEVATIONS
 - A-5 SECTIONS
 - A-6 CONSTRUCTION NOTES

TOTAL PARKING STALLS: 3
PROPOSED DENSITY: 2 UNITS
PROPOSED USE: RESIDENTIAL



- F1 - GARAGE SLAB:**
- 4" THICK 0.45% W/C RATIO CONCRETE
 - MIN. 6" DEEP WASHED ROCK
 - UN-DISTURBED/COMPACTED SOIL

- W1 - EXTERIOR WALL:**
- EXTERIOR SIDING
 - BUILDING PAPER
 - 3/8" O.S.B SHEATING
 - 2x6" SPF STUDS @ 24" W/ FIBERGLASS INSULATION. R VALUE DETERMINED BY ENERGY EVAL.
 - 6MIL POLY VAPOR BARRIER
 - 1/2" DRYWALL

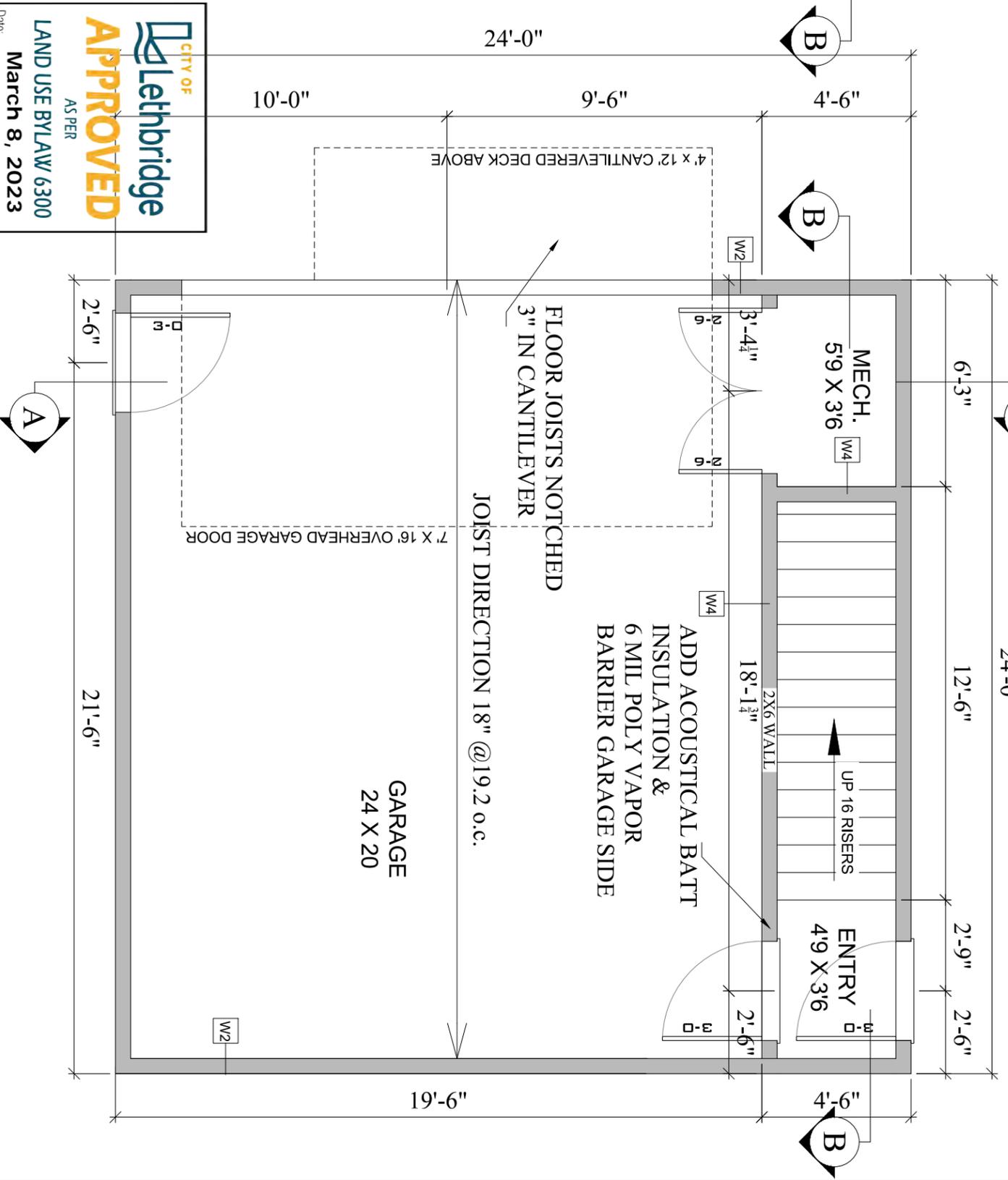
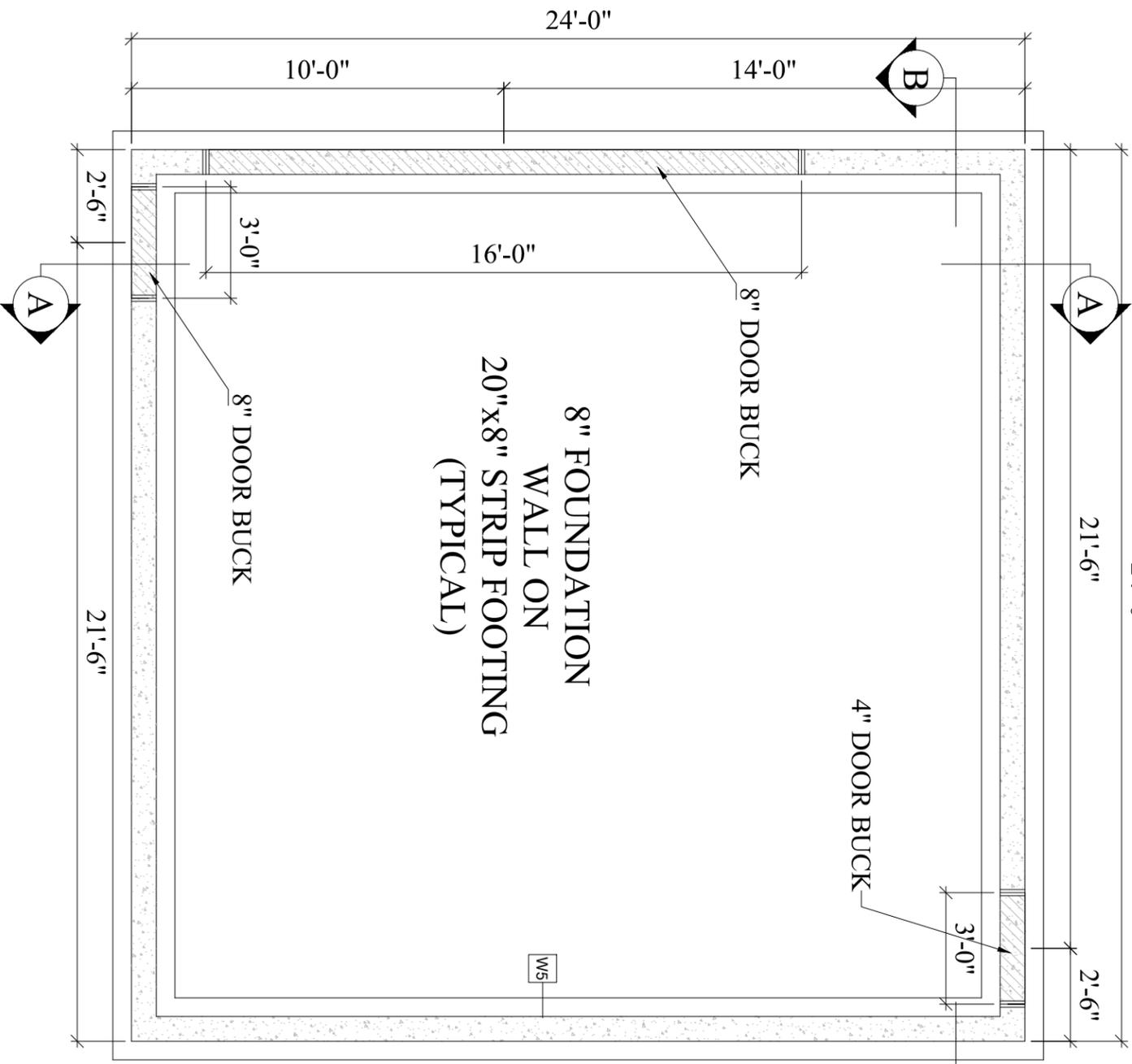
- W2 - GARAGE WALL:**
- EXTERIOR SIDING
 - BUILDING PAPER
 - 3/8" O.S.B SHEATING
 - 6MIL POLY VAPOR BARRIER
 - 2x6" SPF STUDS @24" W/ FIBERGLASS INSULATION R VALUE DETERMINED BY ENERGY EVAL
 - 1/2" DRYWALL

- W3 - INTERIOR WALL:**
- 1/2" DRYWALL
 - 2x4" SPF STUDS @ 24" W/ 1/2" DRYWALL

- W5 - GARAGE FOUNDATION WALL:**
- 8" CONCRETE WALL W/ 2 x 10M REBAR @ TOP & BOTTOM ON 20x8" STRIP FOOTING
 - W/ 2 x 10M REBAR

HAVEN OAK	A.2
JANUARY 9, 2023	
Scale: 1/4"=1'-0"	

LOT: 22	ADDRESS: 23 TRENT RD W LETHBRIDGE AB
BLOCK: 10	
PLAN: 7710684	



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

CITY OF Lethbridge

APPROVED

AS PER

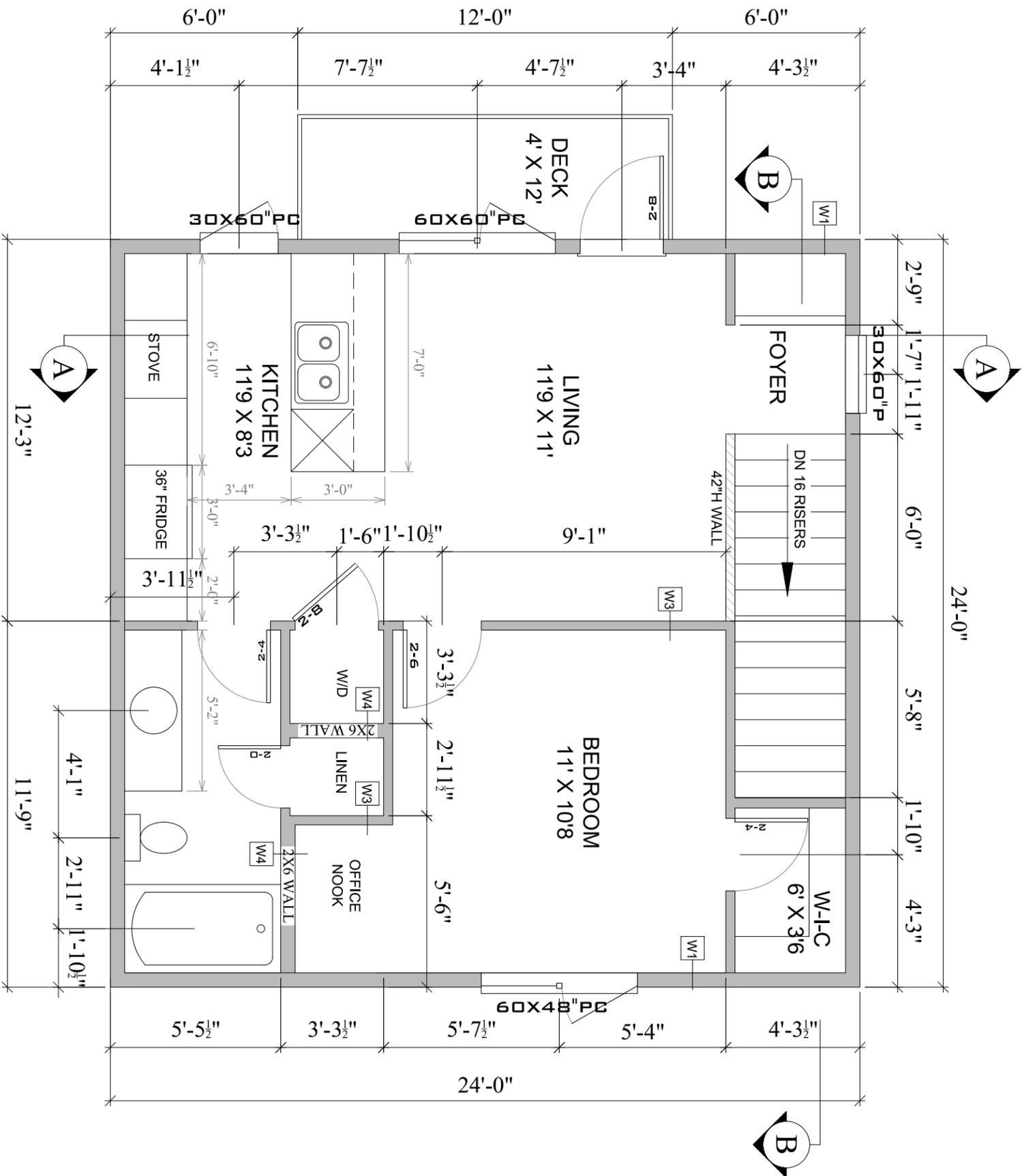
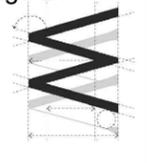
LAND USE BYLAW 6300

March 8, 2023

Permit # **DEV14262**

Date: _____

Development Officer: *Stuella*



UPPER LEVEL APARTMENT
576 SQFT

UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

- F2 - MAIN FLOOR:**
- FINISHED FLOORING ON
 - 23/32" T&G OSB SHEATING
 - ENGINEERED JOISTS OR DIMENSION LUMBER JOISTS

W1 - EXTERIOR WALL:

- EXTERIOR SIDING
- BUILDING PAPER
- 3/8" O.S.B SHEATING
- 2x6" SPF STUDS @ 24" W/ FIBERGLASS INSULATION. R VALUE DETERMINED BY ENERGY EVAL.
- 6MIL POLY VAPOR BARRIER
- 1/2" DRYWALL

W3 - INTERIOR WALL:

- 1/2" DRYWALL
- 2x4" SPF STUDS @ 24" W/ 1/2" DRYWALL

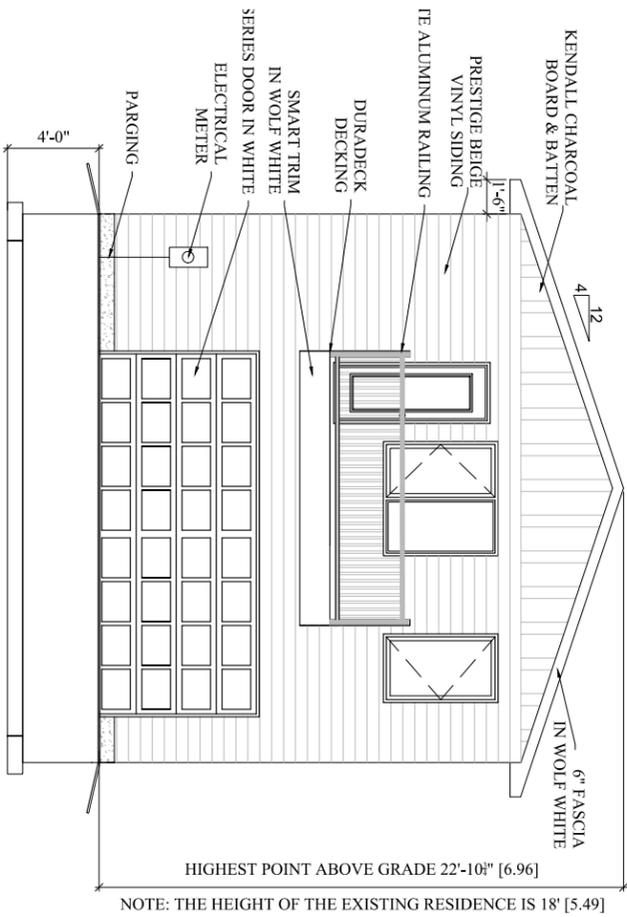
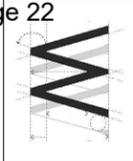
W4 - MECH./STRUCT. INT. WALL:

- 1/2" DRYWALL
- 2x6" SPF STUDS @ JOIST
- 1/2" DRYWALL

HAVEN OAK JANUARY 9, 2023	Sheet A.3
Scale: 1/4" = 1'-0"	
LOT: 22	ADDRESS: 23 TRENT RD W LETHBRIDGE AB
BLOCK: 10	
PLAN: 7710684	

CITY OF Lethbridge
APPROVED
AS PER
LAND USE BYLAW 6300
March 8, 2023

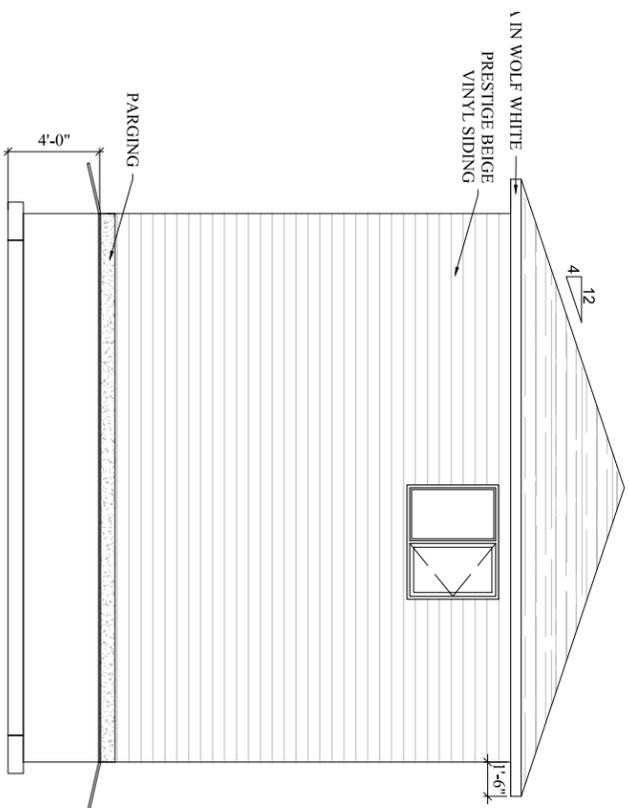
Permit #: **DEV14262**
Date: _____
Development Officer: *Stulle*



HIGHEST POINT ABOVE GRADE 22'-10 1/2" [6.96]
NOTE: THE HEIGHT OF THE EXISTING RESIDENCE IS 18' [5.49]

FRONT ELEVATION

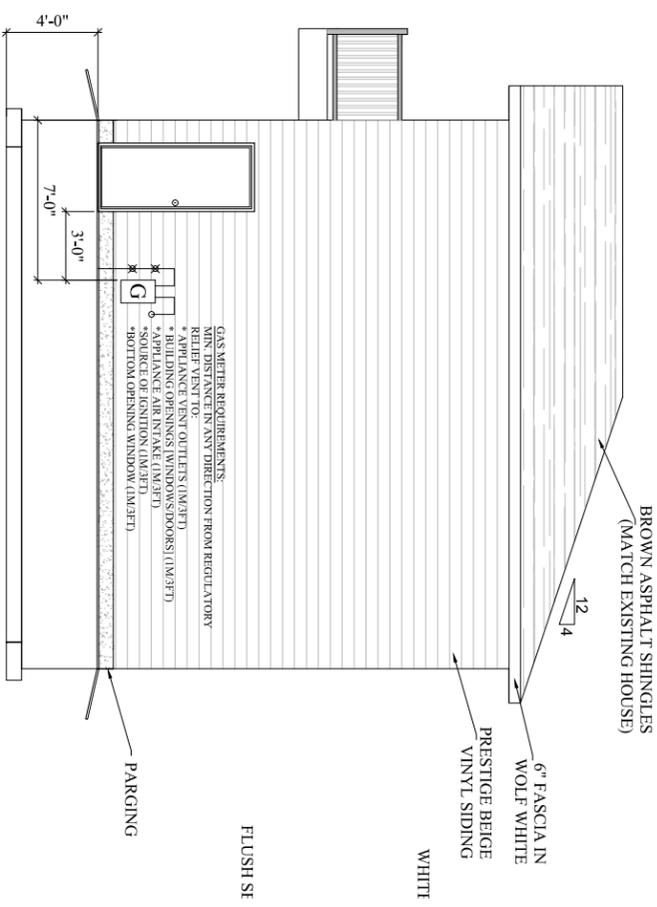
SCALE: 1/8" = 1'-0"



6" 1

REAR ELEVATION

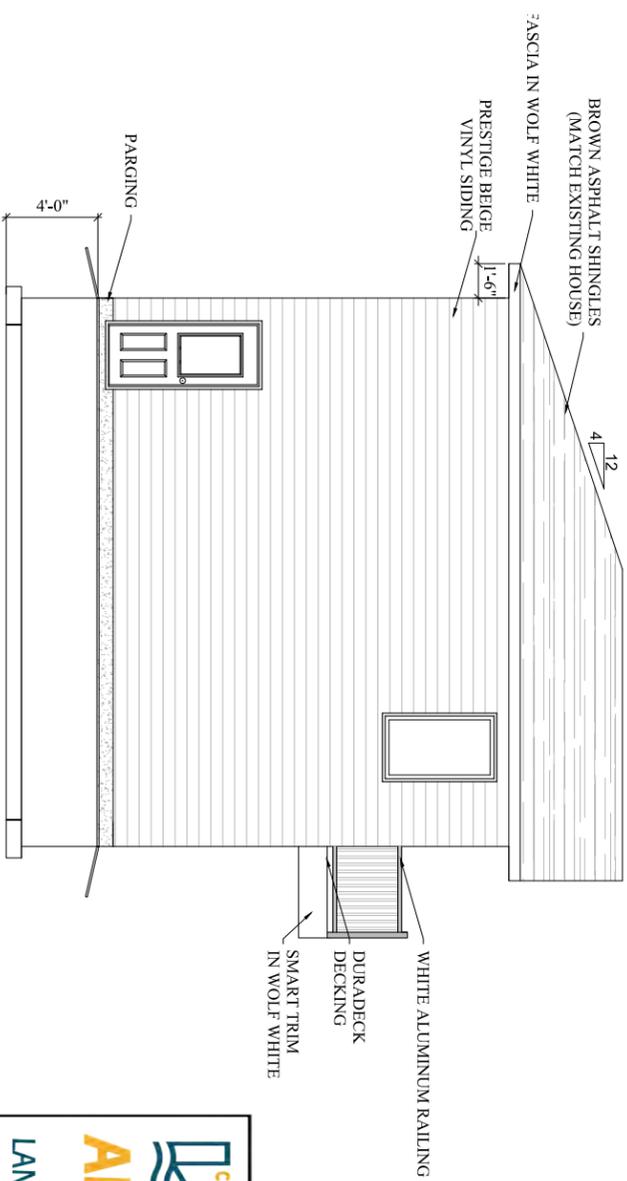
SCALE: 1/8" = 1'-0"



GAS METER REQUIREMENTS:
MIN. DISTANCE IN ANY DIRECTION FROM REGULATORY RELIEF VENT TO:
• APPLIANCE VENT OUTLETS (IM3FT)
• BUILDING OPENINGS (WINDOWS/DOORS) (IM3FT)
• SOURCE OF IGNITION (IM3FT)
• BOTTOM OPENING WINDOW (IM3FT)

RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

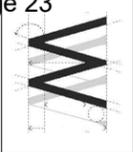
SCALE: 1/8" = 1'-0"

HAVEN OAK JANUARY 9, 2023	Sheet A.4
Scale: 1/8" = 1'-0"	
LOT: 22	ADDRESS: 23 TRENT RD W LETHBRIDGE AB
BLOCK: 10	
PLAN: 7710684	

CITY OF Lethbridge
APPROVED
 AS PER
LAND USE BYLAW/6300
 March 8, 2023

Permit #: **DEV14262**
 Date: **March 8, 2023**

Development Officer: *[Signature]*



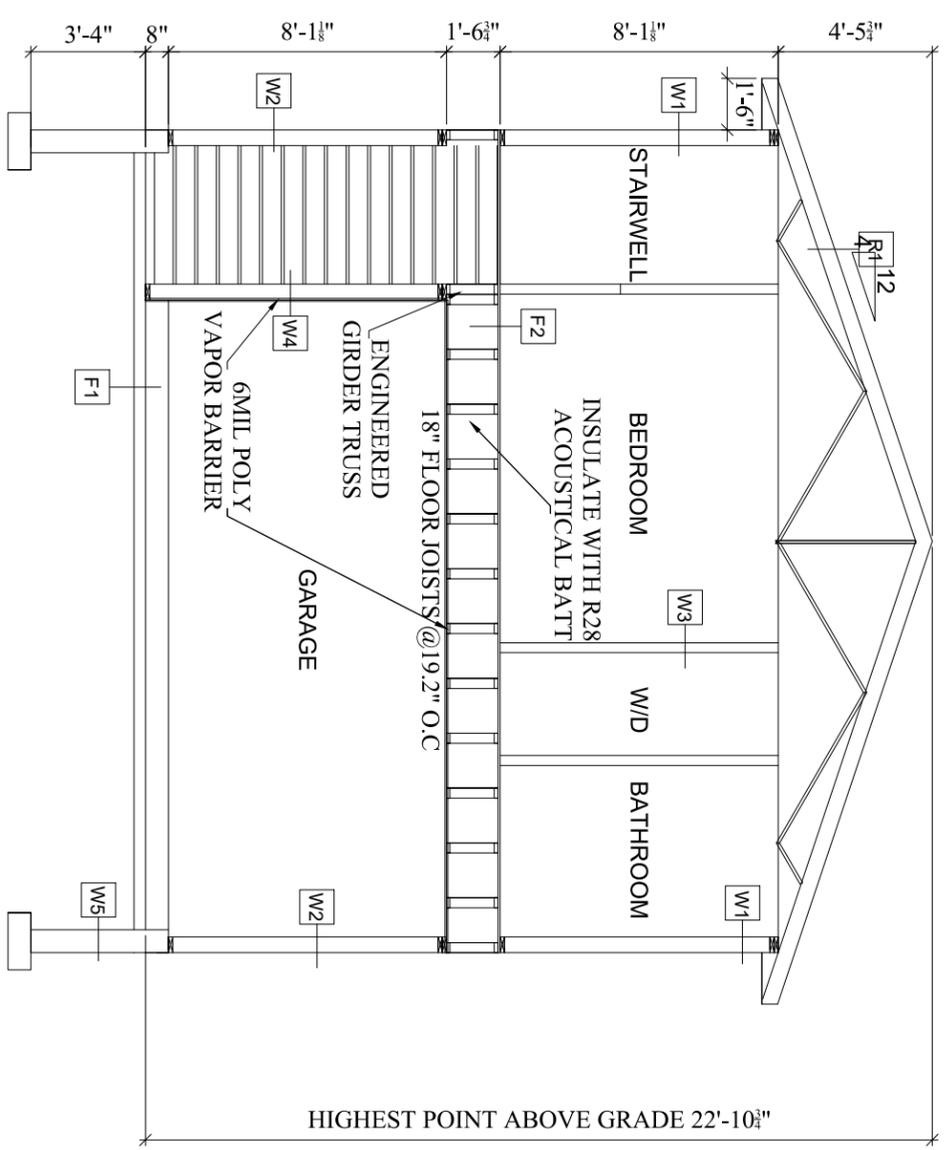
- F1 - GARAGE SLAB:**
- 4" THICK 0.45% W/C RATIO CONCRETE
 - MIN. 6" DEEP WASHED ROCK
 - UN-DISTURBED/COMPACTED SOIL

- W1 - EXTERIOR WALL:**
- EXTERIOR SIDING
 - BUILDING PAPER
 - 3/8" O.S.B SHEATING
 - 2x6" SPF STUDS @ 24" W/ FIBERGLASS INSULATION. R VALUE DETERMINED BY ENERGY EVAL.
 - 6MIL POLY VAPOR BARRIER
 - 1/2" DRYWALL

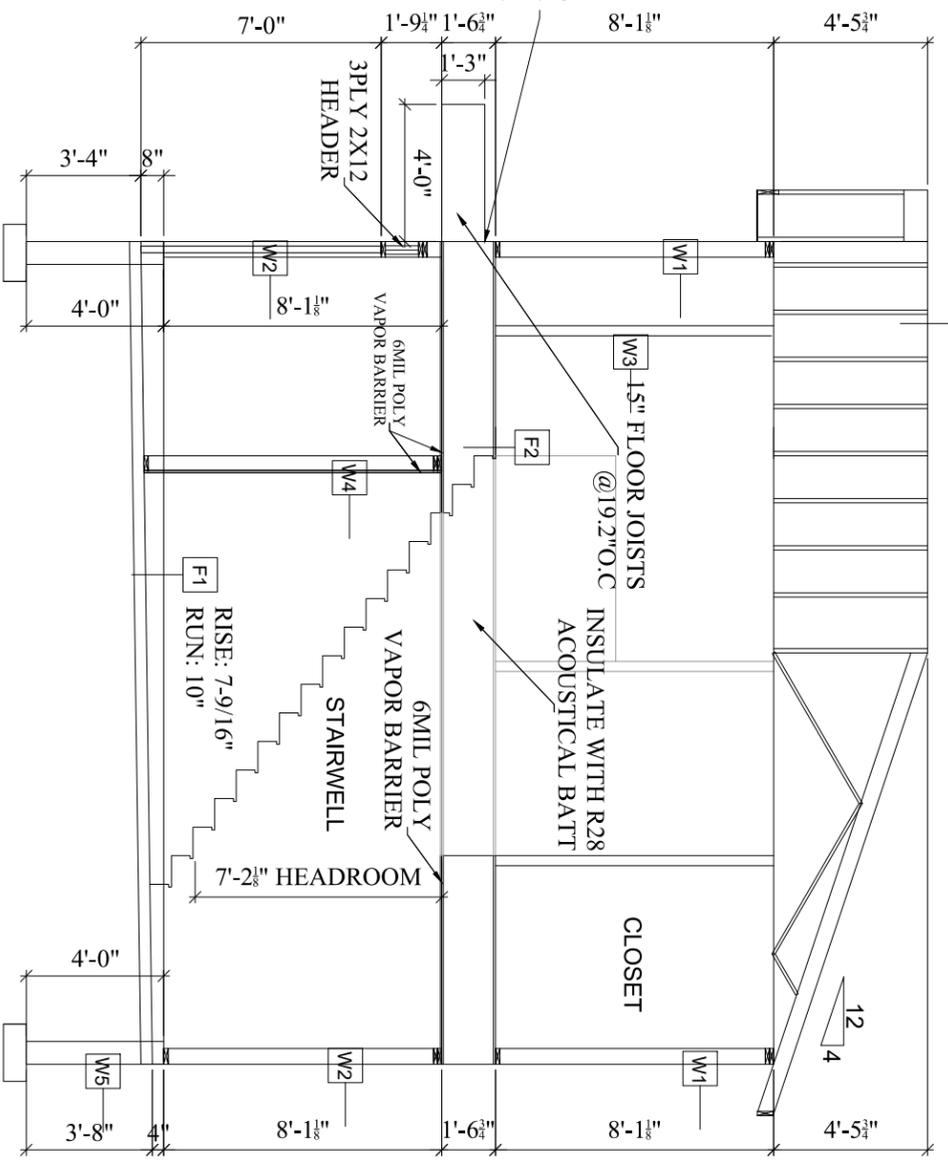
- W2 - GARAGE WALL:**
- EXTERIOR SIDING
 - BUILDING PAPER
 - 3/8" O.S.B SHEATING
 - 6 MIL POLY VAPOR BARRIER
 - 2x6" SPF STUDS @24" W/ FIBERGLASS INSULATION R VALUE DETERMINED BY ENERGY EVAL
 - 1/2" DRYWALL

- W3 - INTERIOR WALL:**
- 1/2" DRYWALL
 - 2x4" SPF STUDS @ 24" W/ 1/2" DRYWALL
- W4 - MECH./STRUCT. INT. WALL:**
- 1/2" DRYWALL
 - 2x6" SPF STUDS @ JOIST
 - 1/2" DRYWALL

- W5 - GARAGE FOUNDATION WALL:**
- 8" CONCRETE WALL W/ 2 x 10M REBAR @ TOP & BOTTOM ON 20x8" STRIP FOOTING W/ 2 x 10M REBAR
- R1 - ROOFING:**
- ASPHALT SHINGLES ON 3/8" OSB SHEATING
 - ENGINEERED TRUSSES
 - R50 BLOWN-IN INSULATION
 - 6MIL POLY VAPOR BARRIER
 - 1/2" DRYWALL



NOTCH FLOOR TRUSSES
3" TO ALLOW FOR WATERPROOFING
ON UPPER DECK



SECTION A

SCALE: 3/16" = 1'-0"

SECTION B

SCALE: 3/16" = 1'-0"

HAVEN OAK JANUARY 9, 2023	A.5
Scale: 3/16" = 1'-0"	
LOT: 22	ADDRESS: 23 TRENT RD W LETHBRIDGE AB
BLOCK: 10	
PLAN: 7710684	

NBC 2019 AB EDITION PART 9.36: PRESCRIPTIVE ENERGY REQUIREMENTS FOR BUILDING ASSEMBLIES

**AIR BARRIER SYSTEM: INTERIOR SEALED POLYETHYLENE
COMPLIANCE METHOD: PRESCRIPTIVE
CLIMATIC ZONE: 6
HRV(HEAT RECOVERY) PROVIDED: NO**

ZONE 6 REQUIREMENTS FOR THERMAL PERFORMANCE		
NO HRV	RSI-VALUE	EFF. R-VALUE
ABOVE GRADE WALLS	3.08	17.51
ABOVE GRADE WALLS ADJACENT TO ATTACHED GARAGE WALL*	2.92	16.60
WITH HRV (HEAT RECOVERY UNIT)	RSI-VALUE	EFF. R-VALUE
ABOVE GRADE WALLS	2.97	16.88
ABOVE GRADE WALLS ADJACENT TO ATTACHED GARAGE WALL*	2.81	15.97
WITH OR WITHOUT HRV		
BELOW GRADE WALLS	2.98	16.94
UNHEATED FLOORS ABOVE FROST LINE	1.96	11.14
HEATED FLOORS	2.32	13.19
FLOORS OVER UNHEATED SPACES	4.67	26.55
CEILINGS BELOW ATTICS	8.67	49.29
CATHEDRAL CEILING AND FLAT ROOFS	4.67	26.55
GARAGE EXTERIOR WALL	2.1	11.94
GARAGE CEILING	6	34.11

*NBC 2019 - 9.36.2.4 - Where the building envelope is protected by an attached garage the required effective thermal resistance is permitted to be reduced by RSI value of 0.16 (m²K)/W.

ZONE 6 REQUIREMENTS - FENESTRATION		
WINDOWS/DOORS	MAX-U-VALUE	MIN. ENERGY
	1.6	25

RSI/R-VALUES FOR BUILDING ASSEMBLIES

W1 2X6 TYPICAL EXTERIOR WOOD STUD WALL			
THICKNESS(mm)	RSI/mm	RSI-VALUE	EFF. R-VALUE
EXTERIOR AIR FILM	-	0.030	0.17
CEMENT BOARD SIDING	6.35	0.003	0.019
BUILDING PAPER	-	0.000	0.00
OSB SHEATHING	9.5	0.0098	0.093
2X6 WOOD FRAMING AT 24" O.C. FILLED WITH R24 BATT INSULATION*	-	-	2.800
POLYETHYLENE SHEET	-	-	0.000
GYP SUM BOARD	12.7	0.0061	0.077
INTERIOR AIR FILM	-	0.120	0.68
Effective RSI/ R Value of Assembly		3.140	17.85

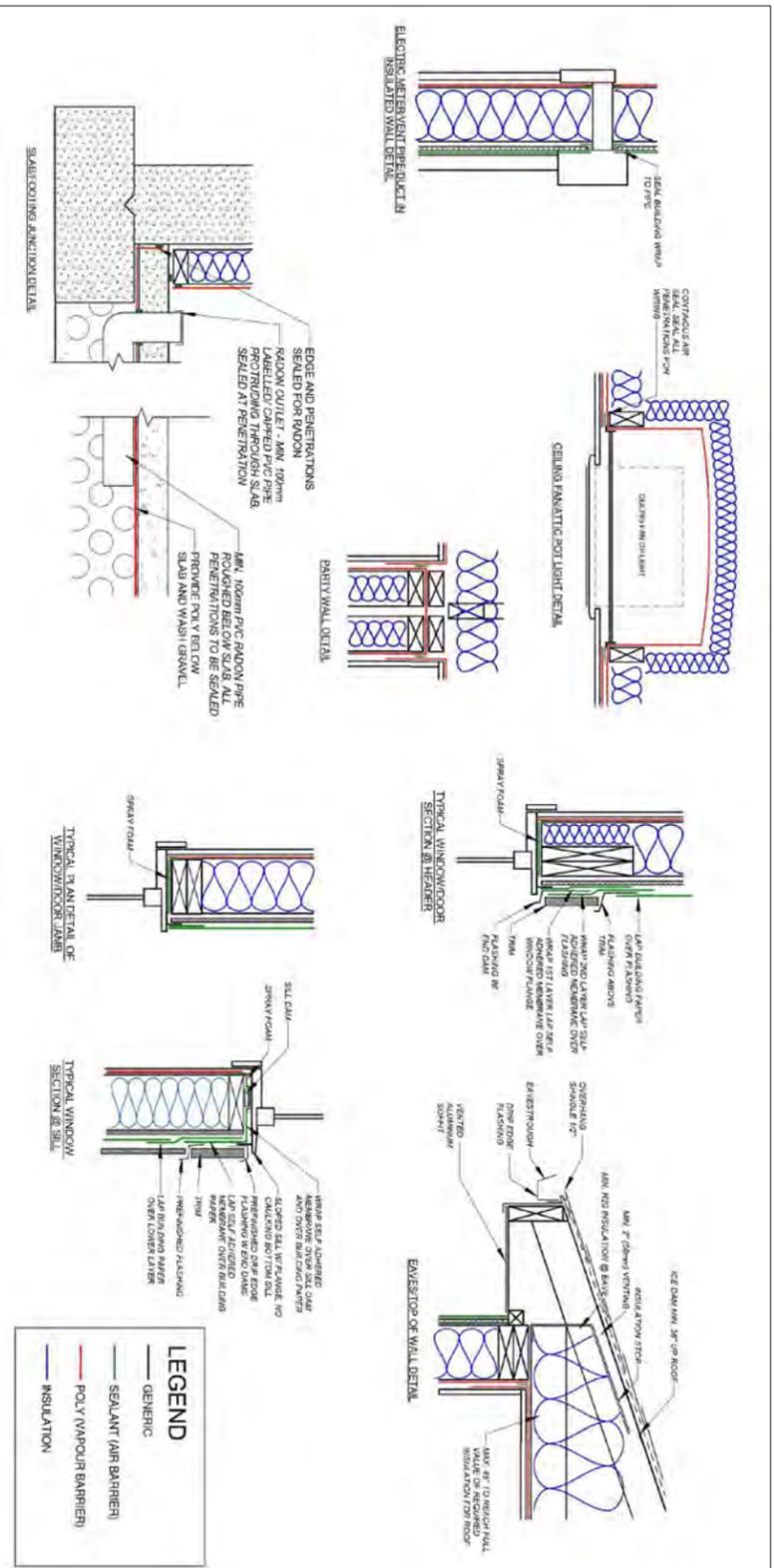
W5 8" CONCRETE FOUNDATION W/ INTERIOR FROST WALL			
THICKNESS(mm)	RSI/mm	RSI-VALUE	EFF. R-VALUE
EXTERIOR WATER/DAMP PROOFING	-	0.000	0.00
CONCRETE WALL	203	0.0004	0.081
2X6 WOOD FRAMING AT 24" O.C. FILLED WITH R20 BATT INSULATION*	-	-	2.806
POLYETHYLENE SHEET	-	0.000	0.00
GYP SUM BOARD	12.7	0.0061	0.077
INTERIOR AIR FILM	-	0.120	0.68
Effective RSI / R of Assembly		3.085	17.54

W4 2X6 INTERIOR WOOD STUD WALL @ GARAGE			
THICKNESS(mm)	RSI/mm	RSI-VALUE	EFF. R-VALUE
INTERIOR AIR FILM	-	0.120	0.68
GYP SUM BOARD	12.7	0.0061	0.077
2X6 WOOD FRAMING AT 24" O.C. FILLED WITH R20 BATT INSULATION	-	-	2.530
POLYETHYLENE SHEET	-	0.000	0.00
GYP SUM BOARD	12.7	0.0061	0.077
EXTERIOR AIR FILM	-	0.030	0.17
Effective RSI/ R-value of Assembly		2.835	16.12

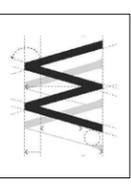
R1 ROOF ASSEMBLY 01: PRE-ENG TRUSS W/ INS. CEILING			
THICKNESS(mm)	RSI/mm	RSI-VALUE	EFF. R-VALUE
EXTERIOR AIR FILM	-	0.030	0.17
ASPHALT SHINGLES	-	-	0.00
BUILDING PAPER	-	0.000	0.00
OSB SHEATHING	9.5	0.0098	0.093
GLASS FIBRE LOOSE FILL INSULATION (R40.5)	380	0.01875	7.125
WOOD TRUSSES 89mm BOTTOM CHORD AT 24" O.C. FILLED WITH CELLULOSE INSULATION IN CAVITY (R9.5)	-	-	1.473
POLYETHYLENE SHEET	-	0.000	0.00
GYP SUM BOARD	12.7	0.0061	0.077
INTERIOR AIR FILM	-	0.110	0.63
Effective RSI of Assembly		8.909	50.65

PRE-ENG FLOOR TRUSSES WITH 2X10 FURRED INSULATED CEILING (R31)			
THICKNESS(mm)	RSI/mm	RSI-VALUE	EFF. R-VALUE
INTERIOR AIR FILM	-	0.160	0.91
OSB SHEATHING	9.5	0.0098	0.186
PRE-ENGINEERED WOOD TRUSSES	-	-	0.00
2X10 DROPPED WOOD FRAMING AT 24" O.C. FILLED WITH R31 BATT INSULATION IN CAVITY	-	-	4.456
POLYETHYLENE SHEET	-	0.000	0.00
GYP SUM BOARD	12.7	0.0061	0.077
EXTERIOR AIR FILM	-	0.030	0.00
Effective RSI of Assembly		4.909	27.910

CONSTRUCTION DETAILS



LOT: 22	ADDRESS: 23 TRENT RD W LETHBRIDGE AB	DATE: JANUARY 9, 2023	SCALE: N/A	SHEET: A.6
BLOCK: 10				
PLAN: 7710684				

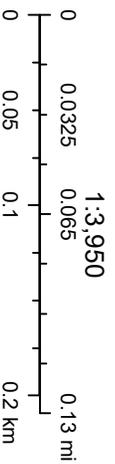


Parcel Locator WebMAP



March 29, 2023

Parcels



Sources: Esri, HERE, Garmin, Intermap, Increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, Geobase, IGN, Kadaster NL, Ordnance Survey, Esri

Attention: Secretary of the subdivision and development Appeal Board,

I would like to submit a letter of appeal to reject the proposed residential development at 23 Trent Road west, DEV14262.

The following points outline the reasons for the appeal:

- The area of Trent Road and Sheridan Park has been designated as low density residential homes. The homes in this area are primarily single dwelling homes. By approving and allowing the development of 23 Trent road to be suited with an additional garage suite, will increase the density of the neighbourhood, increase road traffic, affect street parking and allow for an increase in the number of individuals dwelling on the property site.
- Accessory Building (Division 6- Residential districts: 4 a), are to have design and appearance that is in accordance with the residential district. The homes in this area are primarily bungalows, split entry or 4 level split homes, which are similar in style and **height**. By allowing a separate garage suite to be built, this structure would be the **HIGHEST** structure on the block and would not fit the current appearance of the street or surrounding neighborhood.
- Authorized Waivers- section 22 (4) states that accessory buildings would not materially interfere or affect the use, enjoyment of or the value of the neighboring properties. By allowing this development, the height of this structure would affect privacy for the adjacent properties. As the height of the structure is noticeably out of place, there is a concern that this would affect the appeal of the adjacent homes/ neighbourhood for new home buyers which would affect resale value. Additionally, the height of this structure would also affect privacy for adjacent homes. The individuals living in the suite would be able to look into the back yards of the neighbors, which affects the adjacent home owners privacy. I previously lived in the Blackfoot area, due to the lot and house design, when I was on my deck, I could see into the backyards of 3 neighbors on either side of my house, they could also see into my yard, which did affect how I used my yard and what activities I did my yard.
- As this area was designated for low-density single family homes, allowing 23 Trent road to be suited with an additional separate garage suite will increase activity and traffic in this area. As the proposed development is to allow for 3 suites with 2 bedrooms / suite, that could be up to 6 individuals living on the property. It can be assumed that each individual will own a car, which will further crowd the street parking. It can also be assumed, that the individuals will have guests visiting the dwelling, again, further increasing traffic on the street and affecting parking and potentially causing increased noise to the neighborhood. As this area is designed for low density, single family homes, this development would drastically change the street.
- View- as this structure has been approved to be built at **a height higher** than any other structure on the block, this will be an obvious eye sore to the area. It does not fit in with the surrounding

homes. As a reference, the city previously approved a development on 16th ave and 15th street, which to this day, still stands out amongst the neighbouring bungalows.

- Poor maintenance of the property: Most tenants/ landlords do not actively manage their properties with many lawns and sidewalks not being properly maintained. During the winter months, this leads to the development of ice on the sidewalks, which is a safety concern for the elderly residents residing in the neighborhood. Over this past winter, the current owners/proposed developers did not maintain their sidewalks at 23 Trent road.

I find it most disappointing to know that the city received numerous letters and phone calls voicing concerns about this proposed development. Instead of siding with the majority, the city approved the development. In most situations, if there are 12 individuals who oppose an act and 1 individual supporting the act, the proposed act would be denied. Why is it that the city went ahead with this? Who is supporting the residents of the community if we can't rely on the city to do so? What happens when the other home owners on the block wish to sell their home and they can't find a buyer to look beyond the high rise rental property that was allowed to be built- does city compensate those owners for the loss in home value?

Thank you for reviewing this letter of appeal against the proposed development at 23 Trent Road.

Sincerely,



Alana Takahashi

1421 15th AVE S
LET BRIDGE
TR 04

From: [brenda dewar](#)
To: [David Sarsfield](#)
Subject: [External] Appeal for secondary suite above detached garage-23 Trent Rd.
Date: Saturday, April 15, 2023 9:48:09 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Mr. Sarsfield,

The only additional points we can make and they are similar to what was stated in previous letters is: 1. The height of the structure is totally out of character with the rest of the garages built over the previous 45 years and that it will be continually visible to all neighbors and all the people that use Sheridan Park. In other words, quite a monstrosity and totally does NOT follow the city guidelines for accessory buildings in both the Resident District description of this area; that being low density single residential or 4 (a) where buildings shall have a design, character & appearance that is in accordance with a Residential district.

2. The city will benefit both because the infrastructure is already existing for extra density purposes which also, then leads to higher tax revenue for the city. Of course, the new landlords who have upgraded the home & have applied to build a suite will benefit from the rental revenue.

Overall, we found that on 1 block each of Simon Fraser, Columbia Blvd. & Selkirk Rd. there were 11 home owners who opposed the development & on Trent Rd. alone there were 10 opposed to the development. One was in favor & 3 were indifferent to the development.

Therefore, again we oppose the approval of this detached garage with a secondary suite above at 23 Trent Road.

Respectfully,

George & Brenda Dewar
19 Trent Road

From: [Jane McClennan](#)
To: [David Sarsfield](#)
Subject: [External] Construction of detached garage with secondary suite at 23 Trent Rd. West
Date: Tuesday, April 18, 2023 9:52:39 AM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To Whom It May Concern

We are unable to attend the Appeal hearing regarding this property, but would like to express our sentiments.

We are very much opposed to this construction going ahead.

There are already too many rentals in this area which not only affects our property value, but also the quietness of the neighbourhood.

Many of us surrounding this property have been living here for many years and we deserve your consideration and to be heard and respected.

Please stop this construction in our neighbourhood.

Thankyou,
Jane & Jerome McClennan
230 Ryerson Rd.
Lethbridge, Ab West

April 3, 2023

RE: Development Permit # DEV14262

Dear David,

We would like to respond to the concerns raised by the appellants regarding the development permit for our discretionary garage suite granted by the City of Lethbridge.

A few individuals appealing the construction of this building have cited concerns about the loss of their views. However, it's important to note that the neighbors across the street have never had a clear view of the park, only brief glimpses between the park-facing houses. Therefore, this project will not further obstruct their view. While some neighbors directly beside the lot may lose some side views if they look across our backyard, it's worth noting that this view would also be lost if we were to construct a permitted 5.18-meter high garage building.

There have been concerns raised about the height of the project, but we have made a concerted effort to keep it as low as possible. In fact, we have stayed .62 meters below the allowable height of 7.6 meters for overall height. Additionally, we've taken steps to make the building blend into the roof line of the house by adding a hip roof on the front (house side) of the garage. This ensures that it will not be easily visible from the street. All finishes will match the house to create a cohesive look. We've also been mindful of our neighbors' privacy by not including any windows on the north side and only one window on the south side, which provides additional light to the stairwell. The majority of the windows are on the east side, taking advantage of the park views.

Several appellants have raised concerns that our property will have three suites, which is not allowed by the bylaw. We want to clarify that the blueprints of the existing home's main floor and basement have been provided, and they do not show a third suite. In fact, we have renovated the basement of the house under a separate building permit (BP029156), and building inspectors have verified that there is no basement suite. The suite above the garage is a one-bedroom suite that can accommodate a maximum of two individuals. Therefore, we will not be exceeding the limit of two suites allowed by the bylaw. We understand the importance of following the rules and regulations set by the bylaw, and we have taken the necessary steps to ensure compliance.

The proposed development of our property will add three additional parking stalls - two in the garage and one south of the garage - for a total of four parking stalls, which exceeds the parking requirements needed for this project and ensures that all occupants of the homes will have

access to off-street parking. Although there have been concerns raised about the lack of parking on the street, we have only owned the property for five months and have noticed congestion on the street level only when we had multiple trades working simultaneously on improving the main residence. However, we are happy to add excess off-street capacity to alleviate any concerns our neighbors may have regarding parking. It's worth noting that Trent Rd currently has two legal suites, and there may be additional illegal ones that could be adding to the parking problems. Thus, rather than burdening the landlords who are investing in providing safe housing and adequate parking, it would be in the appellant's best interest to address the issue of illegal suites.

We purchased this home from the estate of an elderly couple who had tragically passed away over the course of a year. The home and yard had not received the attention and care it needed for the last few years and had become a detriment to the neighborhood. Due to the challenge of selling the home in its condition, the son-in-law of the couple who owned the property brought it to our attention, and we purchased it in November of 2022. Since then, we have invested significantly in cleaning up the yard and the home.

We are proud to say that we have made numerous updates and renovations to the property. All the windows and doors have been replaced, and the front facade has been completely redone in an attractive manner. The interior of the home has been completely redone, and the basement has been revamped under a new building permit. We have replaced and updated all the cabinetry, quartz countertops, flooring, trim, doors, and paint. In the upcoming summer season, we plan to completely re-landscape both the front and back yards.

Our intention is to own this home for the long term and contribute positively to the neighborhood's overall appearance. We believe that our investment in this property will inspire others on the street to update their homes accordingly. We have turned this property from a neglected house into a beautiful home that will stand out on the street and reflect positively on the neighbors' house value.

We understand that some concerns have been raised about the addition of a one-bedroom suite to the property. However, we assure you that this will not negatively affect our neighbors. In fact, there are no statistics that indicate adding a one-bedroom suite onto a property will negatively affect the neighborhood. We are committed to being responsible property owners, and we believe that our investment in this property will ultimately benefit the neighborhood. In closing, we want to emphasize that this property could have easily fallen into the hands of a slumlord, to the detriment of the neighbors. We are proud to have rescued this home and intend to maintain it to a high standard.

In light of the extensive renovations completed on the main residence, we will be seeking a premium rental rate to attract a high-caliber tenant. We anticipate the primary occupant of the

main house to be a family, while the garage suite is suitable for a single individual or couple. It is important to note that while we are committed to providing equal opportunity housing, this property is not intended to be marketed towards those who may be considered “low income”

In conclusion, the proposal to add a one-bedroom suite to the property does not pose any negative impact on the streetscape, views, or parking situation in the neighbourhood. On the contrary, we have improved the overall quality of the neighbourhood by upgrading the main house. Additionally, the proposal complies with all relevant bylaws and regulations, ensuring that it will be a legal and safe addition to the property. Therefore, the proposal should be approved as it offers many benefits to the neighbourhood without any significant drawbacks.

Brad Vandenberg – 403-359-3535

Wayne Vandenberg – 403-795-4161

HavenOak Inc.



Subdivision & Development Appeal Board

SDAB Meeting April 20, 2023



APPLICATION NO.

DEV14262

LOCATION

23 Trent Road West

LAND USE DISTRICT

R-L Low Density Residential District

APPLICANT

Brad Vandenberg

LANDOWNER

Haven Oak Inc.

CURRENT DEVELOPMENT

Single Detached Dwelling – Existing;

PROPOSED DEVELOPMENT

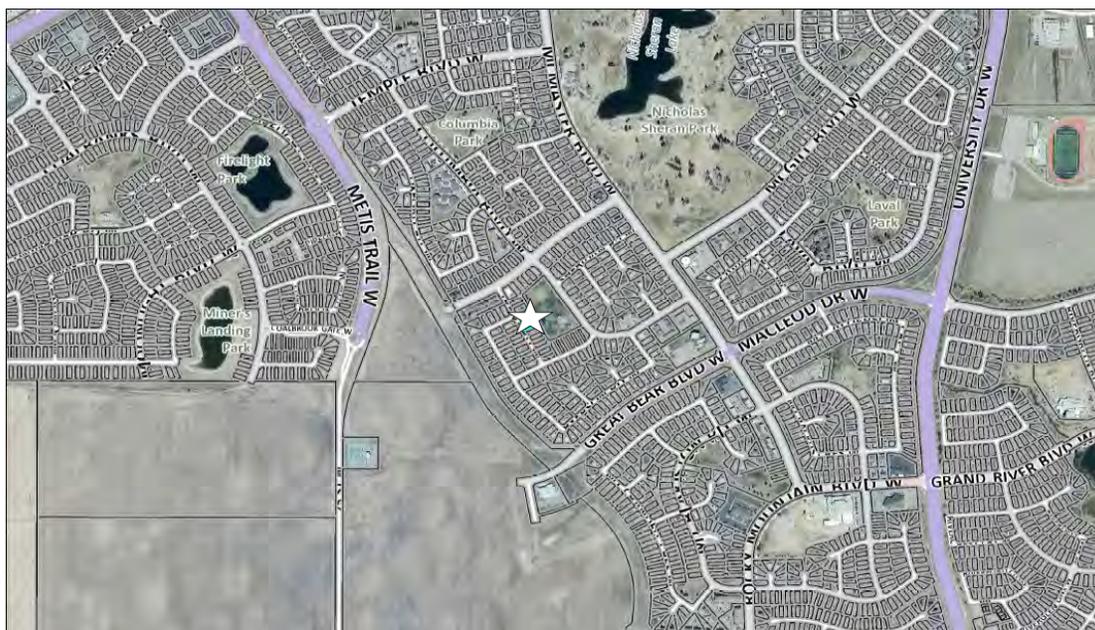
Appendix A: Drawings

A request for a new secondary suite over a new detached garage.

ADJACENT DEVELOPMENT

North	Single Detached Dwelling
South	Single Detached Dwelling
East	Single Detached Dwelling
West	Single Detached Dwelling

CONTEXT MAPS





NOTIFICATION SUMMARY

Neighbourhood: Varsity Village
Neighbourhood Associations(s): N/A

LAND USE BYLAW SUMMARY

Use: Secondary Suite, New - Discretionary

	Requirement	Provided	Waiver Requested
Parking	3 off-street stalls	4 off-street stalls	N/A
Number of Suites Allowed	1	1	N/A

Access To Suite	Separate Access from Exterior or Separate Entrance through Common Landing	Separate Access from Exterior	N/A
Parcel Subdivision	Shall Not Be Subject to Separation from Principal Dwelling through Condo Conversion	Will not be subdivided from Single Detached Dwelling	N/A
Setback requirement	0.60m from rear and side property lines	1.36m from north property line, 1.83m from rear property line, and 5.03m to south property line.	N/A
Maximum Height	7.60m or the height of the existing dwelling.	Proposed garage 6.96m Height of existing house 7.01m(as per phone call with applicant)	N/A

EVALUATION

Background

- An application to develop a secondary suite was received on January 10, 2023. No waivers were required or requested.
- Applications for secondary suites in the R-L district are to be circulated to the neighbors for comments.
- Neighbourhood Notification Letters were sent to residents within a 60m radius of the subject parcel on February 17, 2023 with the comment period ending on March 1, 2023.

- Comments were received related to density, parking/traffic congestion, visual impact, privacy concerns, overall feel that the neighborhood was changing.
- The permit was issued on March 8, 2023, and advertised in the March 11th, 2023 edition of the Lethbridge Herald.

CONTEXT

This application was heard before the Appeal Board because:

- A neighbor appealed the decision

CONSIDERATIONS

- The Varsity Village neighborhood is not subject to an Area Redevelopment plan.
- The subject parcel is under the rules and guidelines of the City of Lethbridge Land Use Bylaw 6300.

LEGISLATION & POLICY

Land Use Bylaw 6300

- Section 86(3) R-L discretionary uses
- Section 63(5) Parking & Loading Requirements
- Section 82(5) Secondary Suite Requirements

Municipal Development Plan

- Policy 58 Promote affordable housing by encouraging and facilitating the adequate supply of housing for all income groups.
- Policy 65 Ensure residential densities are increased in existing areas in a manner that respects built form and character, by preparing Area Redevelopment Plans which take into account the following criteria:
 - Age and classification of the neighbourhood,
 - Street layout type,

- Location in relation to other land uses and transportation links,
 - Neighbourhood population demographics, such as age distribution,
 - Neighbourhood design and character,
 - Existing and planned infrastructure capacity,
 - Heritage preservation
- Policy 66 Promote increasing residential densities in existing areas in a manner that respects built form and character by:
 - Encouraging residential development at an near to the University and College,
 - Encouraging residential development in the downtown,
 - Encouraging the development of increased residential density in and around existing or planned commercial areas and corridors,
 - Encouraging support for additional units in parcels that have not reached their maximum allowable density,
 - Encouraging beautification of commercial corridors to increase livability,
 - Discouraging 'downzoning' (i.e. Land Use Bylaw amendments from higher to lower density residential districts), except where required in order to comply with other policies in this MCP.
- Policy 67 Ensure a range of types and sizes of residential development in the downtown are enabled and encouraged by reviewing the regulatory and statutory environment to:
 - Ensure minimum parking requirements are not an obstacle to residential development or adaptive reuse of existing buildings in the downtown.
 - Enable and encourage a range of housing types and sizes.
 - Encourage active commercial frontages at ground floor level, while considering residential uses in appropriate forms and locations.
- Policy 68 Ensure a choice of housing is integrated throughout the city in future Area Structure Plans, Outline Plans and Area Redevelopment Plans, by:
 - Requiring future Area Structure Plans, Outline Plans, and Area Redevelopment Plans to include a variety of residential land use districts to ensure various housing types can occur such as: secondary suites, duplexes, multi-family housing, market

housing, single room occupancy, shared housing with supports, and shared ownership arrangements.

- Requiring any proposed higher density residential development to be located with good access to services (eg. commercial uses, schools, parks) and transportation links (including but not limited to transit).

- Policy 100

Promote walkable neighbourhood by encouraging:

- A greater mix of appropriate land uses and infill development through policies in Area Redevelopment Plans.
- Growth areas to provide for a greater mix of land uses in Area Structure Plans and Outline Plans.
- Development of accessible housing units in areas where ancillary neighbourhood facilities are currently available (eg. schools, parks, transit routes, groceries) or will be developed in the future, through land use plan preparation or consideration of applications for a change of land use.
- Area Redevelopment Plans for areas with inadequate green space to identify how the supply can be increased and how this can be paid for.
- Street-fronting and neighbourhood-oriented commercial development in new or existing neighbourhoods with a grid or modified grid street layout, through supporting appropriate land use amendments and identifying appropriate locations in Area Redevelopment Plans and Outline Plans.
- Commercial development around higher density residential areas, in Area Redevelopment Plans and Area Structure Plan preparation, and Land Use Bylaw amendments.

- Policy 113

Promote a sustainable development pattern which makes efficient use of land, minimizes the need for motorized travel and facilitates social cohesion, by encouraging:

- The design of live, work, shop and play land uses in proximity to one another.
- Mixed-use development with a mix of land uses in existing and future commercial areas.
- The design of the built environment to facilitate walkability and rollability by providing complete networks of accessible sidewalks and crossing throughout the city.
- The design of neighbourhoods to minimize driving distances and reduce automobile trip generation, through the use of

grid or modified grid street layouts (where topography and storm water management solutions allow) and a mix of land uses which aims to allow residents to meet their daily needs within a 750 m walk of their homes.

- A diverse range of housing forms and price points to be incorporated in all new neighbourhoods.
- Mixed-use development in residential neighbourhoods, in locations which maximize commercial viability and ease of access for nearby residents.
- The creation of city and neighbourhood focal points that provide opportunities for community gathering, and that encourage interaction between all age groups and abilities.
- Neighbourhood design and public spaces to mitigate the impact of climatic extremes (temperature, wind, drifting snow).
- Through the city, architecture and streetscaping which contribute to a sense of place and civic pride.

South Saskatchewan Regional Plan 2014-2024

5. Efficient Use of Land

Objective:

- The amount of land that is required for development of the built environment is minimized over time.

Strategies:

- 5.1 All land-use planners and decision-makers responsible for land-use decisions are encouraged to **consider the efficient use of land principles** in land-use planning and decision-making.

Principles:

2. Utilize the minimum amount of land necessary for new development and build at a higher density than current practice.
3. Increase the proportion of new development that takes place within already developed or disturbed lands either through infill, redevelopment and/or shared use, relative to new development that takes place on previously undeveloped lands.

4. Plan, design and locate new development in a manner that best utilizes existing infrastructure and minimizes the need for new or expanded infrastructure.

Assessment

1. **Density** – There are 2 other approved secondary suites within the 60m notification radius. 11 Trent Rd, and 220 Ryerson Rd. Many comments referred to dwellings being used for rentals. For planning purposes we do not look at the ownership or living arrangements of occupants. We look at the structure itself.
2. **Parking/traffic congestion** – Proposed property has 4 off-street parking stalls provided, thereby exceeding the required off street parking. This will not add to the on street parking and congestion issues.
3. **Visual impact** – Proposed garage has a larger rear setback than the minimum requirement, and it's height has been minimized to the extent possible. Furthermore, people are not entitled to views, and with the garage being in the rear yard, it will not detract from the overall streetscape feel of the neighbourhood.
4. **Privacy concerns** – Window openings have been strategically placed to mitigate privacy concerns. Windows are facing predominantly to the east and west directions thereby minimizing privacy concerns of the directly adjacent neighbors. The one window that does face the directly adjacent north neighbor is at the top of the stairs, and not in a central location such as a bedroom or living area where occupants would be spending the most of their time.
5. **Overall changing neighborhood** – many people were not happy with the rental nature of the neighborhood that they feel many of the existing homes operate as, citing overall issues such as upkeep, yard orderliness, street parking. The applicant for the current project is investing in the neighborhood and renovating the existing house, thereby adding value to the neighborhood.

Some comments focused on the perception that the presence of rental units will negatively affect resale potential. However, housing market appeal is far more complicated than one single issue. Furthermore, current economic realities may necessitate potential rental income for people to move into the housing market. Given the number of calls we receive from home buyers, realtor, and lawyers, the potential for a secondary suite is an increasingly important factor in deciding on where to purchase a residence.

CONCLUSION

- The proposed secondary suite meets the above noted requirements for a secondary suite. No waivers are required or requested.

- The application followed the established process for secondary suites.
- The comments and issues raised in the received comments do not adequately reflect the impact of the proposed project.
- The application was subsequently approved.

RECOMMENDATION

That the appeal be denied, and that the Development Officer decision on DEV14262 be upheld.

ALTERNATIVES

Approval This application may be approved. Appropriate conditions should be cited.

If this application is approved:

- The applicant may appeal any of the conditions of approval.
- Any affected party present at the MPC meeting may appeal the approval.
- The approval is advertised in the upcoming Saturday paper and any affected party may appeal the approval.

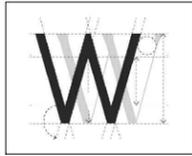
Refusal This application may be refused. Specific reasons for refusal must be cited.

If this application is refused:

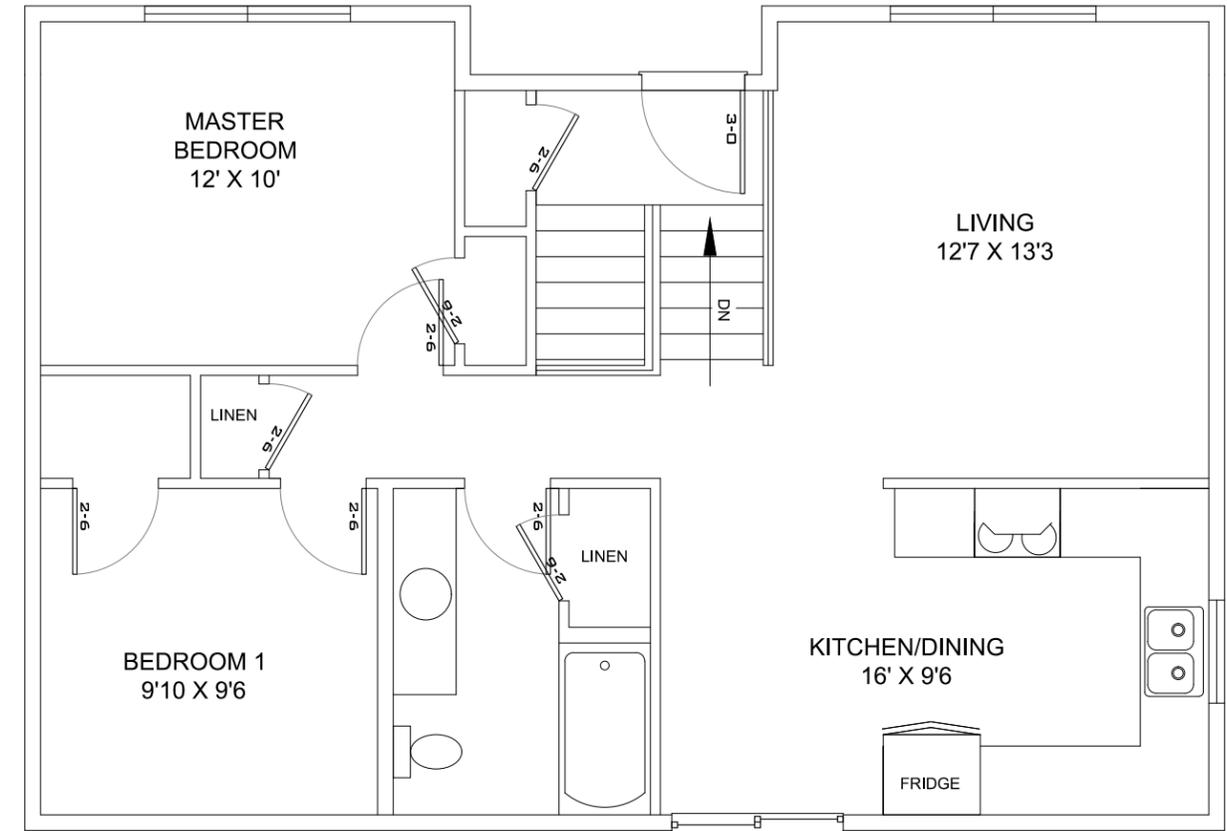
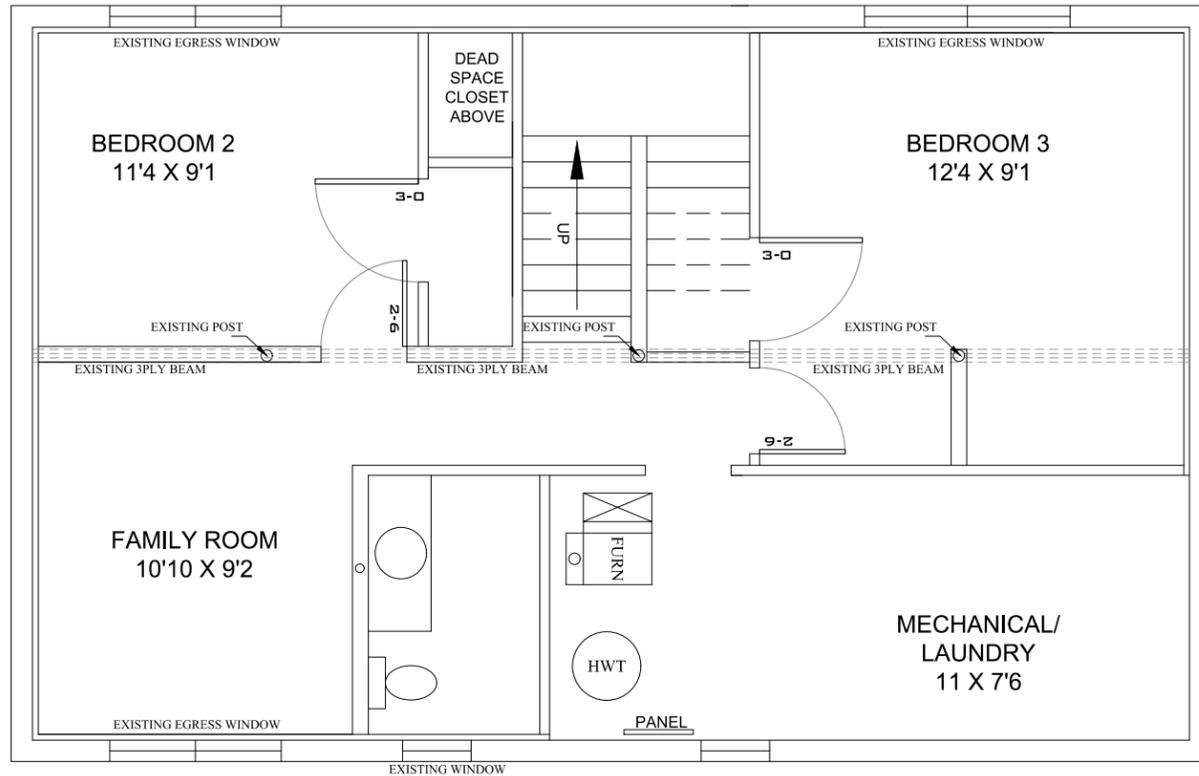
- The applicant may appeal the refusal.
- The applicant may wait 6 months and reapply for the same development at the same location.
- The applicant may correct the aspects of the development that caused it to be refused and reapply before 6 months has elapsed.
- The applicant may make an entirely new application for the same proposal in a different location.

Tabling The application may be tabled: The cause of or reason for tabling should be cited. Conditions or a time frame for lifting it from the table should be cited. Instructions for re-advertising should be cited.

Appendix A



HAVEN OAK	Sheet
DECEMBER 5, 2022	A.1
Scale: 3/16"=1'-0"	



EXISTING BASEMENT PLAN
SCALE: 3/16" = 1'-0"

EXISTING MAIN FLOOR PLAN
SCALE: 3/16" = 1'-0"

CITY OF Lethbridge
APPROVED
AS PER
LAND USE BYLAW 6300
Date: **March 8, 2023**
Permit #: **DEV14262**
[Signature]
Development Officer

WALL TO WALL DESIGN
RACHELLE WALL
P: 403.315.4561
E: rachelle.walltowall@gmail.com

WALL TO WALL DESIGN

PROPERTY OF
HAVEN OAK

BRAD & WAYNE VANDENBERG

CONTACT:
BRAD: 403-359-3535
WAYNE: 403-795-4161
EMAIL: homes@havenoak.ca

HavenOak

23 TRENT ROAD W, LETHBRIDGE



HAVEN OAK	Sheet
NOVEMBER 28, 2022	A.2
Scale: 1/4"=1'-0"	

WALL TO WALL DESIGN
 RACHELLE WALL
 P: 403.315.4561
 E: rachelle.walltowall@gmail.com

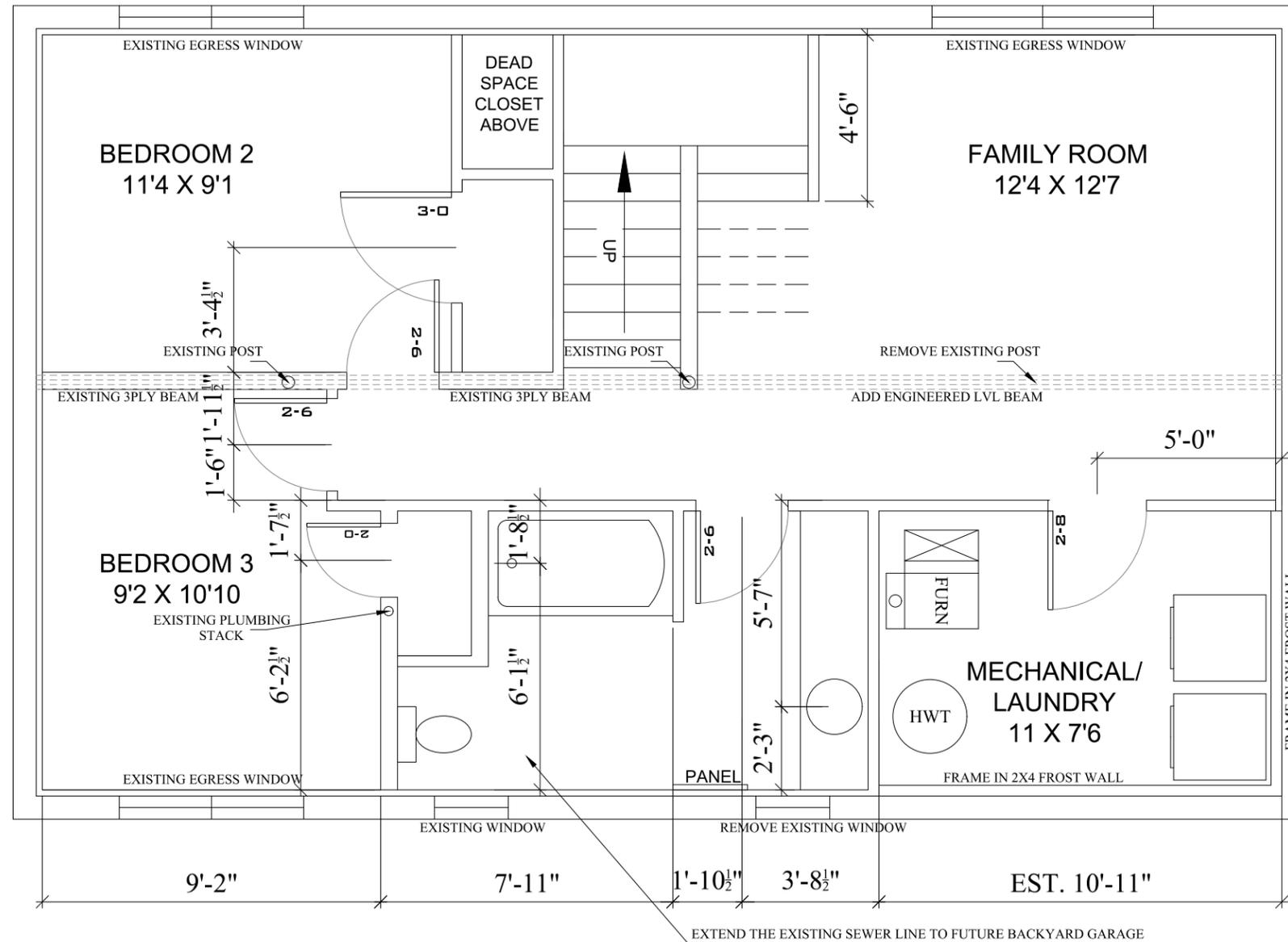
WALL TO WALL DESIGN

PROPERTY OF
 HAVEN OAK

BRAD & WAYNE VANDENBERG

CONTACT:
 BRAD: 403-359-3535
 WAYNE: 403-795-4161
 EMAIL: homes@havenoak.ca

HavenOak



NEW BASEMENT PLAN

SCALE: 1/4" = 1'-0"

23 TRENT ROAD W, LETHBRIDGE

CITY OF Lethbridge

APPROVED

AS PER
LAND USE BYLAW 6300
March 8, 2023

Date: _____
 Permit #: **DEV14262**

J. Zelle
 Development Officer



HAVEN OAK	Sheet
JANUARY 9, 2023	A.1
Scale: 3/32=1-0"	

SQUARE FEET SUMMARY	GARAGE:576
	UPPER LEVEL:576
	BASEMENT:N/A

LOT: 22	ADDRESS: 23 TRENT RD W LETHBRIDGE AB
BLOCK: 10	
PLAN: 7710684	

WALL TO WALL DESIGN
 RACHELLE WALL
 P: 403.315.4561
 E: rachelle.walltowall@gmail.com



PROPERTY OF
 HAVEN OAK

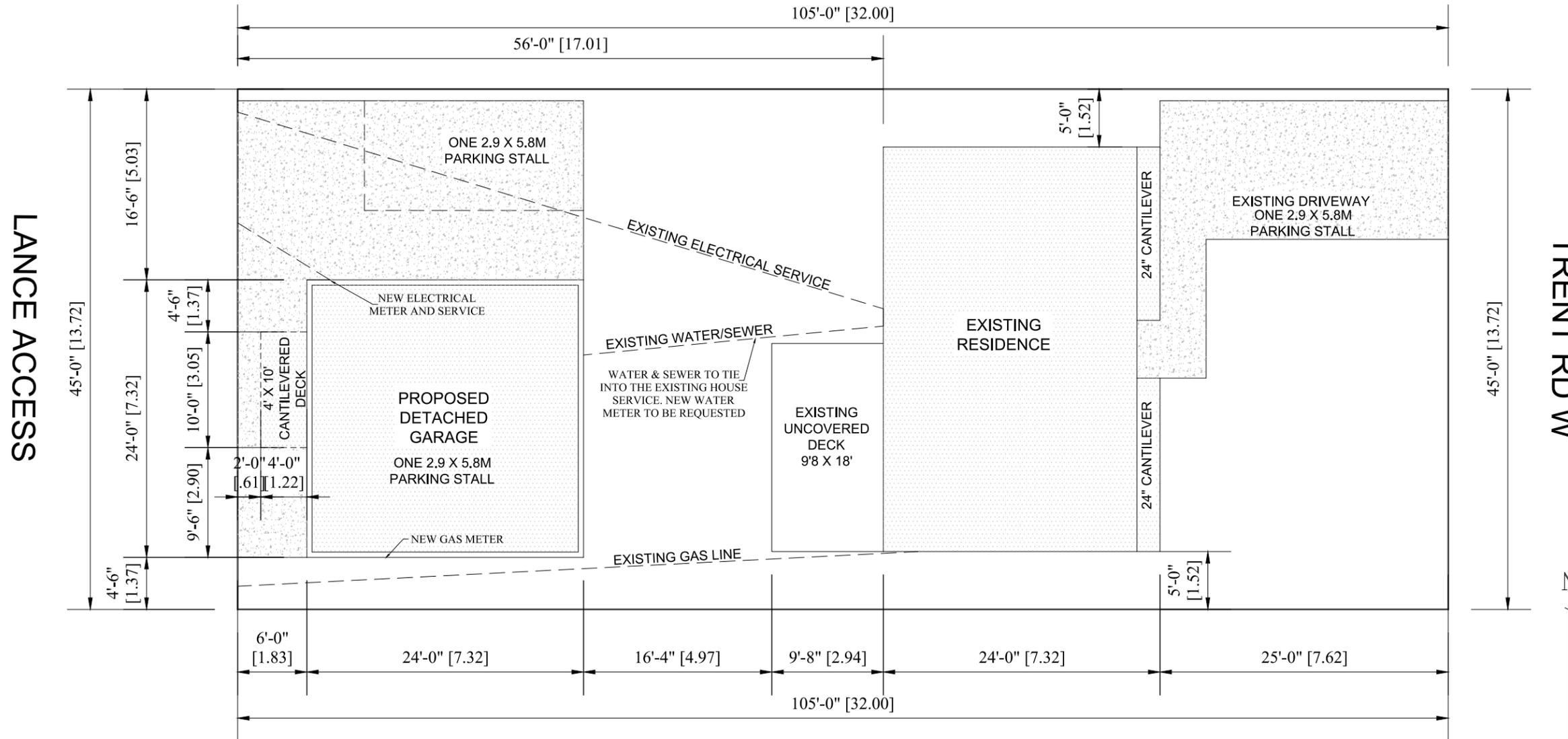
BRAD & WAYNE VANDENBERG

CONTACT:
 BRAD: 403-359-3535
 WAYNE: 403-795-4161
 EMAIL: homes@havenoak.ca



SHEET LIST:

- A-1 SITE PLAN
- A-2 FOUNDATION/MAIN FLOOR PLAN
- A-3 UPPER FLOOR PLAN
- A-4 ELEVATIONS
- A-5 SECTIONS
- A-6 CONSTRUCTION NOTES



*** ANY CONCRETE FLOORS (BASEMENT OR GARAGE) TO BE ON A MINIMUM 6" COMPACTED GRAVEL FILL OR UNDISTURBED SOIL.
 *** CONTRACTOR TO VERIFY ALL CONDITIONS, DIMENSIONS AT THE JOB SITE AND NOTIFY WALL TO WALL DESIGN OF ANY ERRORS, OF DISCREPANCIES PRIOR TO STARTING WORK.
 *** ANY STRUCTURAL ENGINEERING REQUIRED BY PLAN REVIEWER/CODE REQUIREMENTS ARE AT THE RESPONSIBILITY OF THE BUILDER

*detached Garage with Secondary suite
 **12.19% accessory building parcel coverage

CITY OF Lethbridge
APPROVED
 AS PER
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 March 8, 2023
 Date: _____
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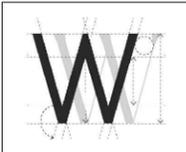
 Development Officer

TOTAL PARKING STALLS: 3
PROPOSED DENSITY: 2 UNITS
PROPOSED USE: RESIDENTIAL

SITE PLAN

SCALE:3/16" = 1'-0"

23 TRENT ROAD W, LETHBRIDGE



HAVEN OAK JANUARY 9, 2023	Sheet A.2
Scale: 1/4"=1'-0"	
LOT: 22	ADDRESS: 23 TRENT RD W LETHBRIDGE AB
BLOCK: 10	
PLAN: 7710684	

F1 - GARAGE SLAB:

- 4" THICK 0.45% W/C RATIO CONCRETE
- MIN. 6" DEEP WASHED ROCK
- UN-DISTURBED/COMPACTED SOIL

F2 - MAIN FLOOR:

- FINISHED FLOORING ON
- 23/32" T&G OSB SHEATING
- ENGINEERED JOISTS OR DIMENSION LUMBER JOISTS

W1 - EXTERIOR WALL:

- EXTERIOR SIDING
- BUILDING PAPER
- 3/8 O.S.B SHEATING
- 2x6" SPF STUDS @ 24" W/ FIBERGLASS INSULATION. R VALUE DETERMINED BY ENERGY EVAL.
- 6MIL POLY VAPOR BARRIER

W2 - GARAGE WALL:

- EXTERIOR SIDING
- BUILDING PAPER
- 3/8 O.S.B SHEATING
- 6 MIL POLY VAPOR BARRIER
- 2X6" SPF STUDS @24" W/ FIBERGLASS INSULATION R VALUE DETERMINED BY ENERGY EVAL
- 1/2" DRYWALL

W3 - INTERIOR WALL:

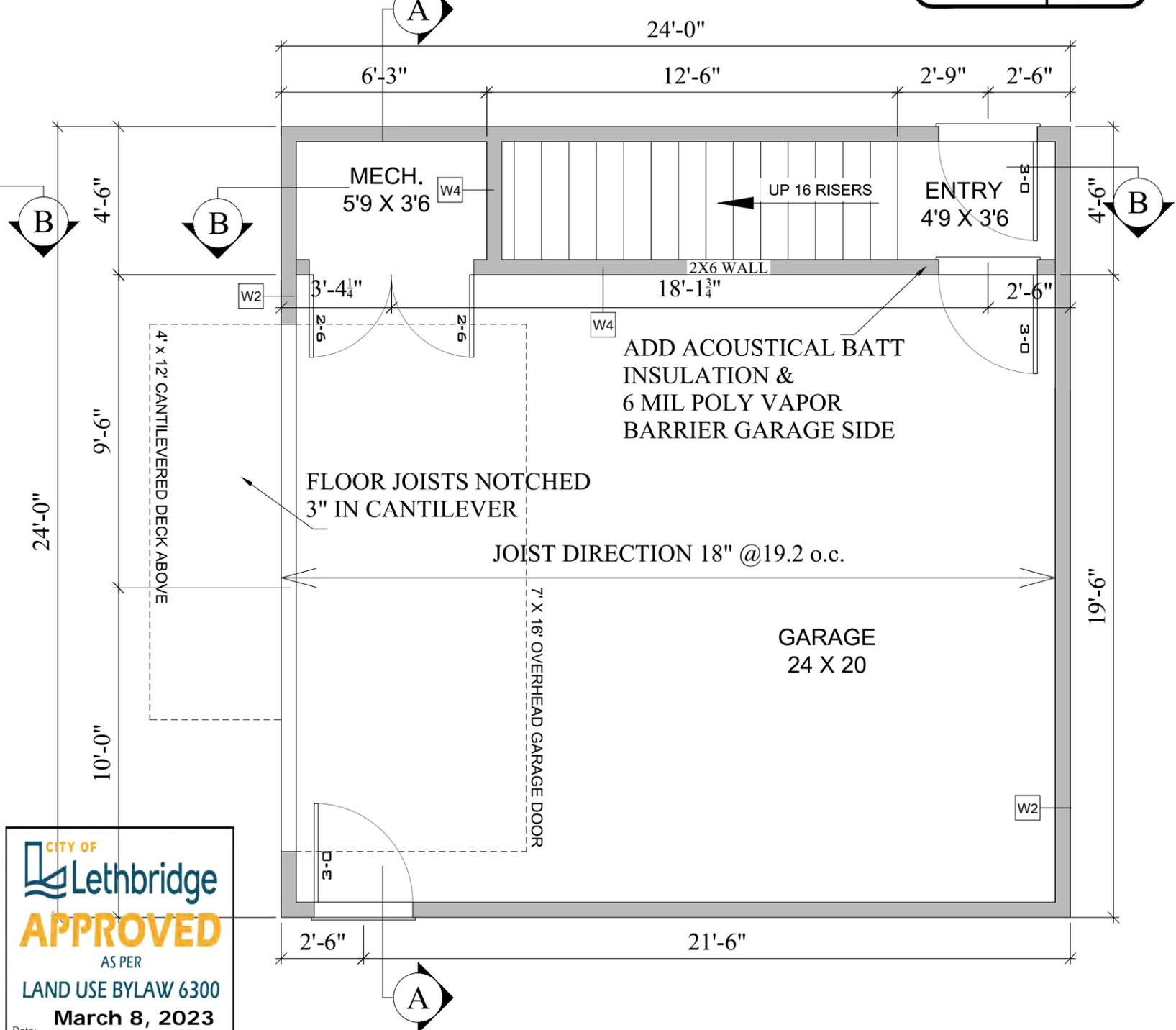
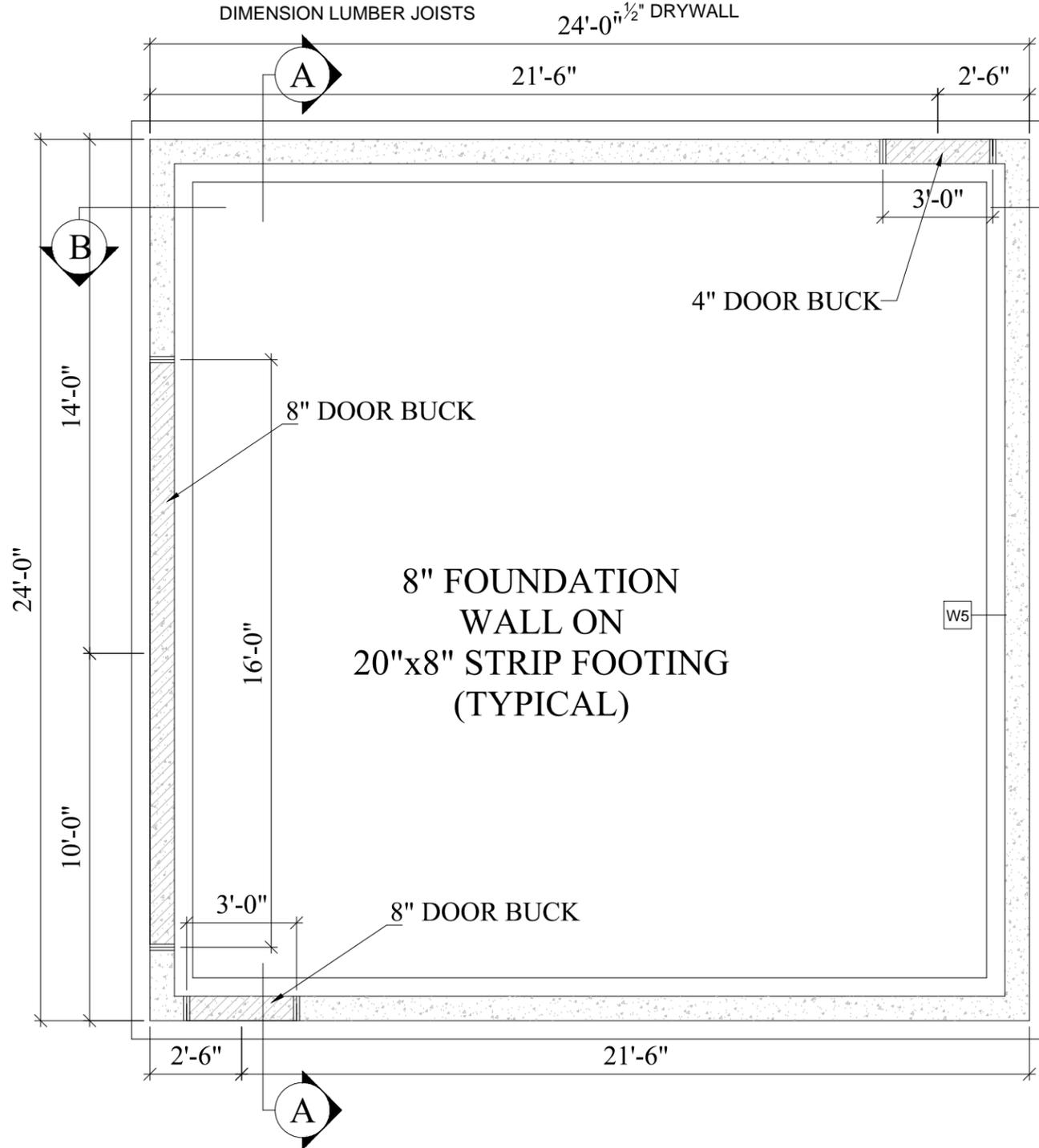
- 1/2" DRYWALL
- 2x4" SPF STUDS @ 24" W/
- 1/2" DRYWALL

W5 - GARAGE FOUNDATION WALL:

- 8" CONCRETE WALL W/ 2 x 10M REBAR @ TOP & BOTTOM ON 20x8" STRIP FOOTING W/ 2 x 10M REBAR

W4 - MECH./STRUCT. INT. WALL:

- 1/2" DRYWALL
- 2x6" SPF STUDS @ JOIST
- 1/2" DRYWALL



FOUNDATION PLAN

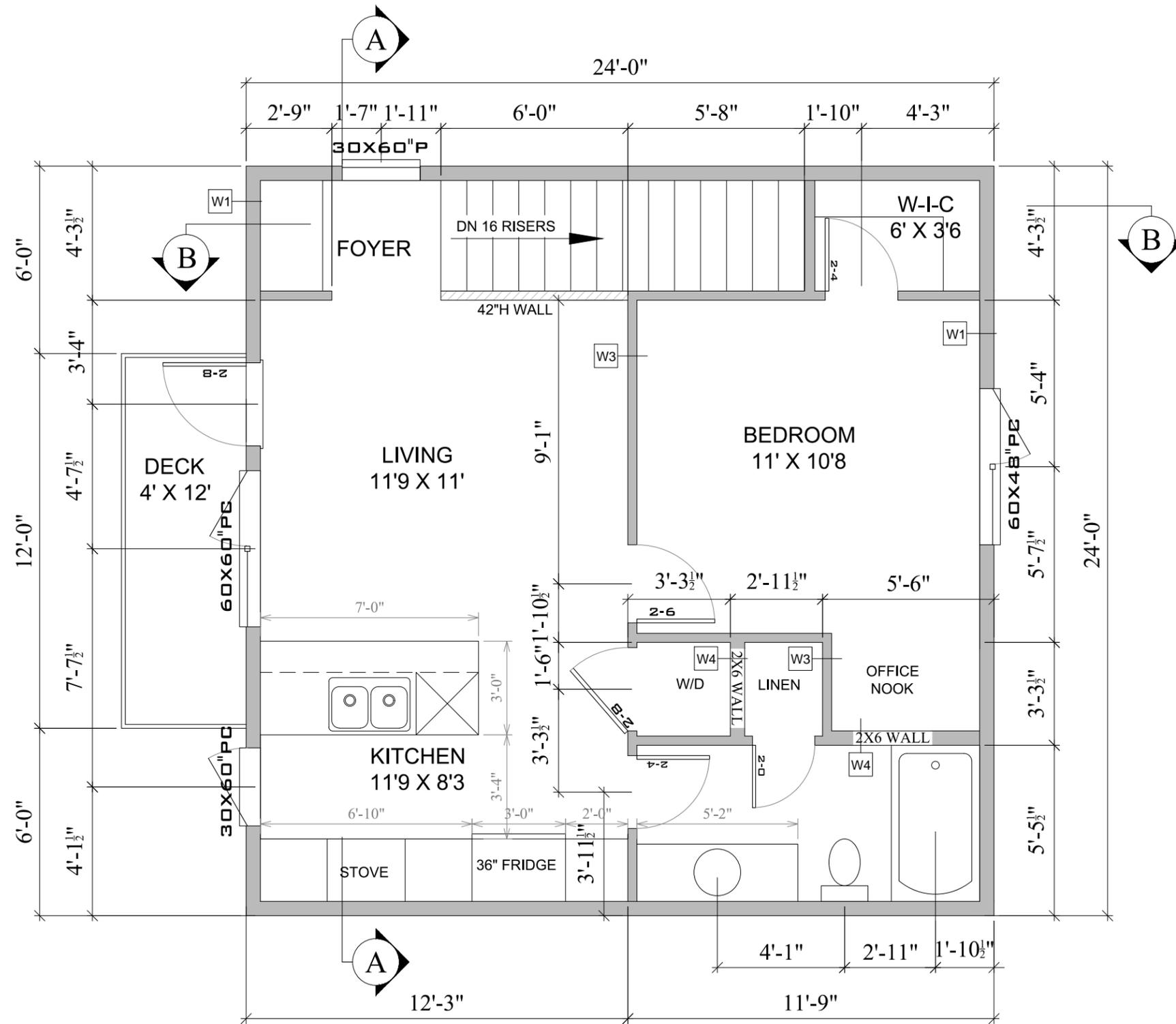
SCALE: 1/4" = 1'-0"

CITY OF Lethbridge
APPROVED
 AS PER
 LAND USE BYLAW 6300
 March 8, 2023
 Date: _____
 Permit #: **DEV14262**
J. Zulle
 Development Officer

MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

HAVEN OAK JANUARY 9, 2023	Sheet A.3
Scale: 1/4" = 1'-0"	
LOT: 22	ADDRESS: 23 TRENT RD W LETHBRIDGE AB
BLOCK: 10	PLAN: 7710684



F2 - MAIN FLOOR:
 - FINISHED FLOORING ON
 - 23/32" T&G OSB SHEATHING
 - ENGINEERED JOISTS OR
 DIMENSION LUMBER JOISTS

W1 - EXTERIOR WALL:
 - EXTERIOR SIDING
 - BUILDING PAPER
 - 3/8" O.S.B SHEATHING
 - 2x6" SPF STUDS @ 24" W/
 FIBERGLASS INSULATION. R
 VALUE DETERMINED BY
 ENERGY EVAL.
 - 6MIL POLY VAPOR BARRIER
 - 1/2" DRYWALL

W3 - INTERIOR WALL:
 - 1/2" DRYWALL
 - 2x4" SPF STUDS @ 24" W/
 - 1/2" DRYWALL

W4 - MECH./STRUCT. INT. WALL:
 - 1/2" DRYWALL
 - 2x6" SPF STUDS @ JOIST
 - 1/2" DRYWALL

UPPER LEVEL APARTMENT
 576 SQFT

UPPER FLOOR PLAN

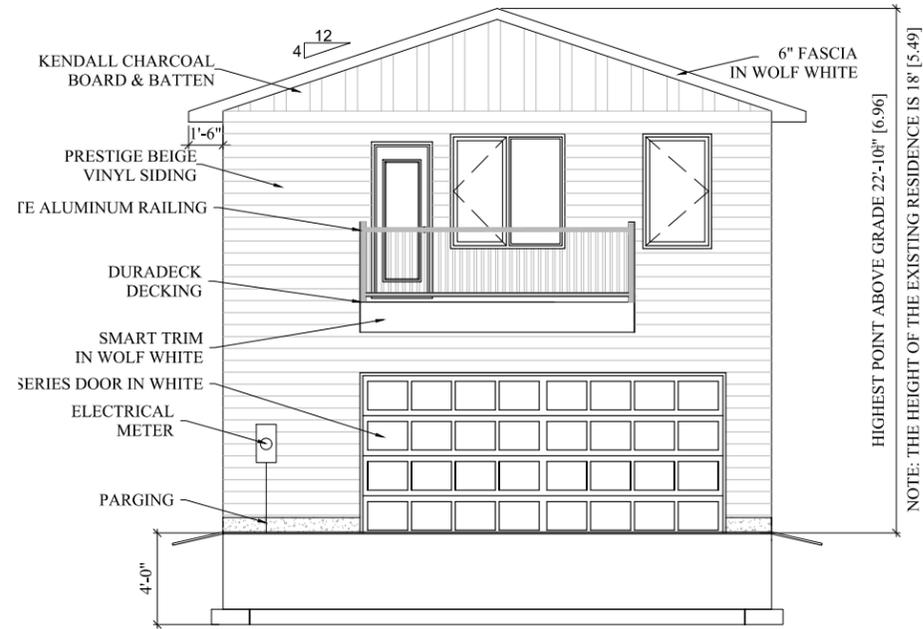
SCALE: 1/4" = 1'-0"

CITY OF
Lethbridge
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 AS PER
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March 8, 2023
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 Development Officer

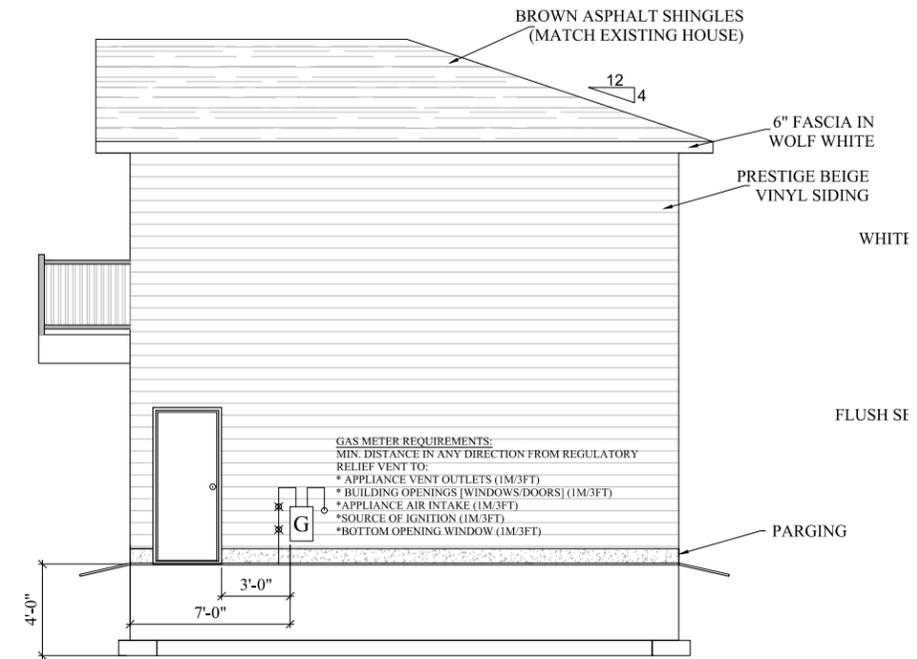


HAVEN OAK JANUARY 9, 2023	Sheet A.4
Scale: 1/8" = 1'-0"	
LOT: 22	ADDRESS: 23 TRENT RD W LETHBRIDGE AB
BLOCK: 10	
PLAN: 7710684	



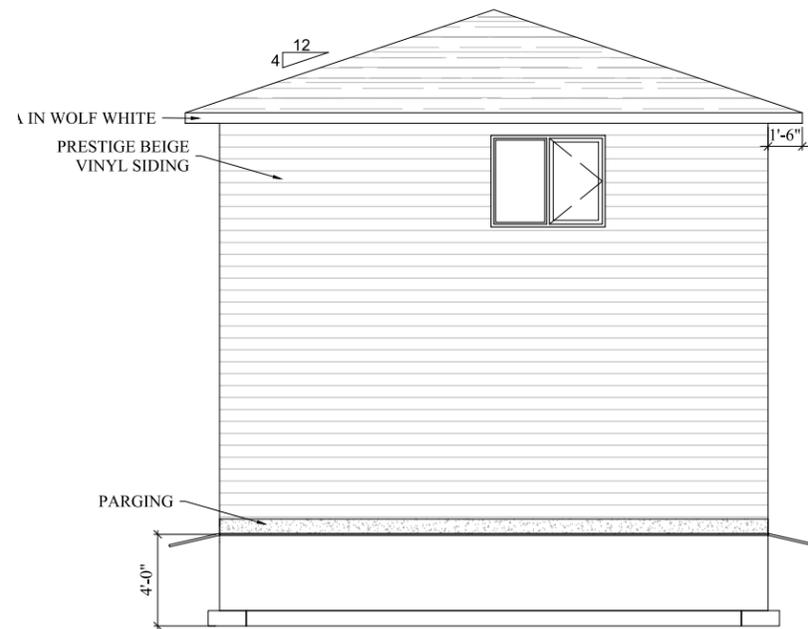
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



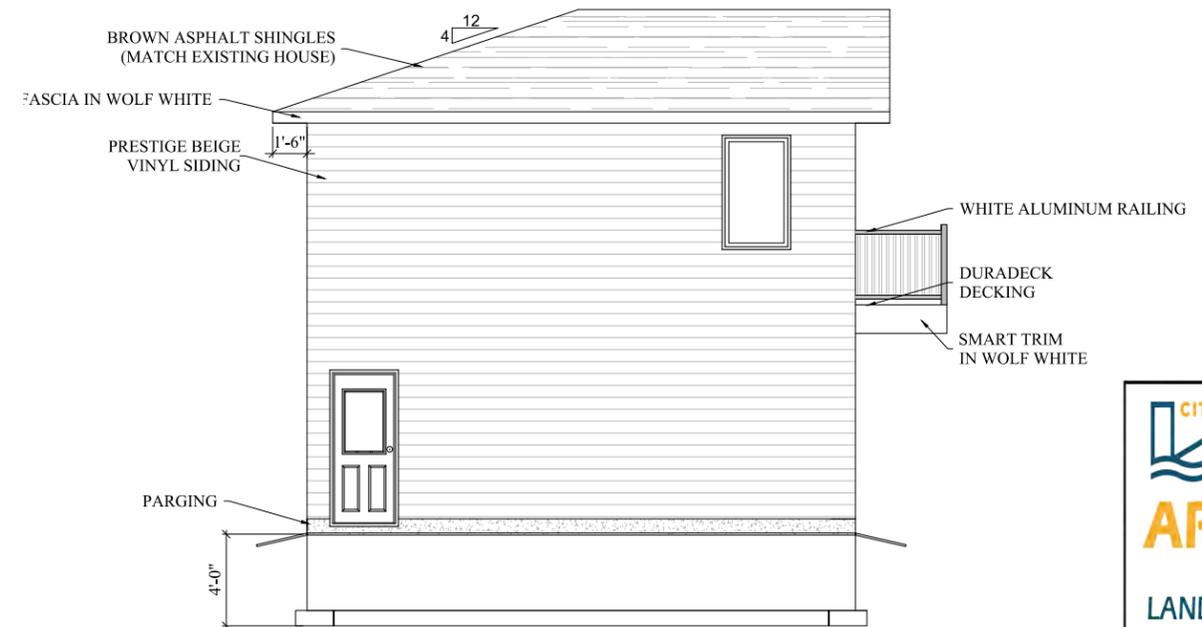
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

CITY OF Lethbridge
APPROVED
 AS PER
LAND USE BYLAW 6300
March 8, 2023
 Date: _____
 Permit #: **DEV14262**
[Signature]
 Development Officer



F1 - GARAGE SLAB:

- 4" THICK 0.45% W/C RATIO CONCRETE
- MIN. 6" DEEP WASHED ROCK
- UN-DISTURBED/COMPACTED SOIL

F2 - MAIN FLOOR:

- FINISHED FLOORING ON
- 23/32" T&G OSB SHEATING
- ENGINEERED JOISTS OR DIMENSION LUMBER JOISTS

W1 - EXTERIOR WALL:

- EXTERIOR SIDING
- BUILDING PAPER
- 3/8 O.S.B SHEATING
- 2x6" SPF STUDS @ 24" W/ FIBERGLASS INSULATION. R VALUE DETERMINED BY ENERGY EVAL.
- 6MIL POLY VAPOR BARRIER
- 1/2" DRYWALL

W2 - GARAGE WALL:

- EXTERIOR SIDING
- BUILDING PAPER
- 3/8 O.S.B SHEATING
- 6 MIL POLY VAPOR BARRIER
- 2X6" SPF STUDS @24" W/ FIBERGLASS INSULATION R VALUE DETERMINED BY ENERGY EVAL
- 1/2" DRYWALL

W3 - INTERIOR WALL:

- 1/2" DRYWALL
- 2x4" SPF STUDS @ 24" W/
- 1/2" DRYWALL

W4 - MECH./STRUCT. INT. WALL:

- 1/2" DRYWALL
- 2x6" SPF STUDS @ JOIST
- 1/2" DRYWALL

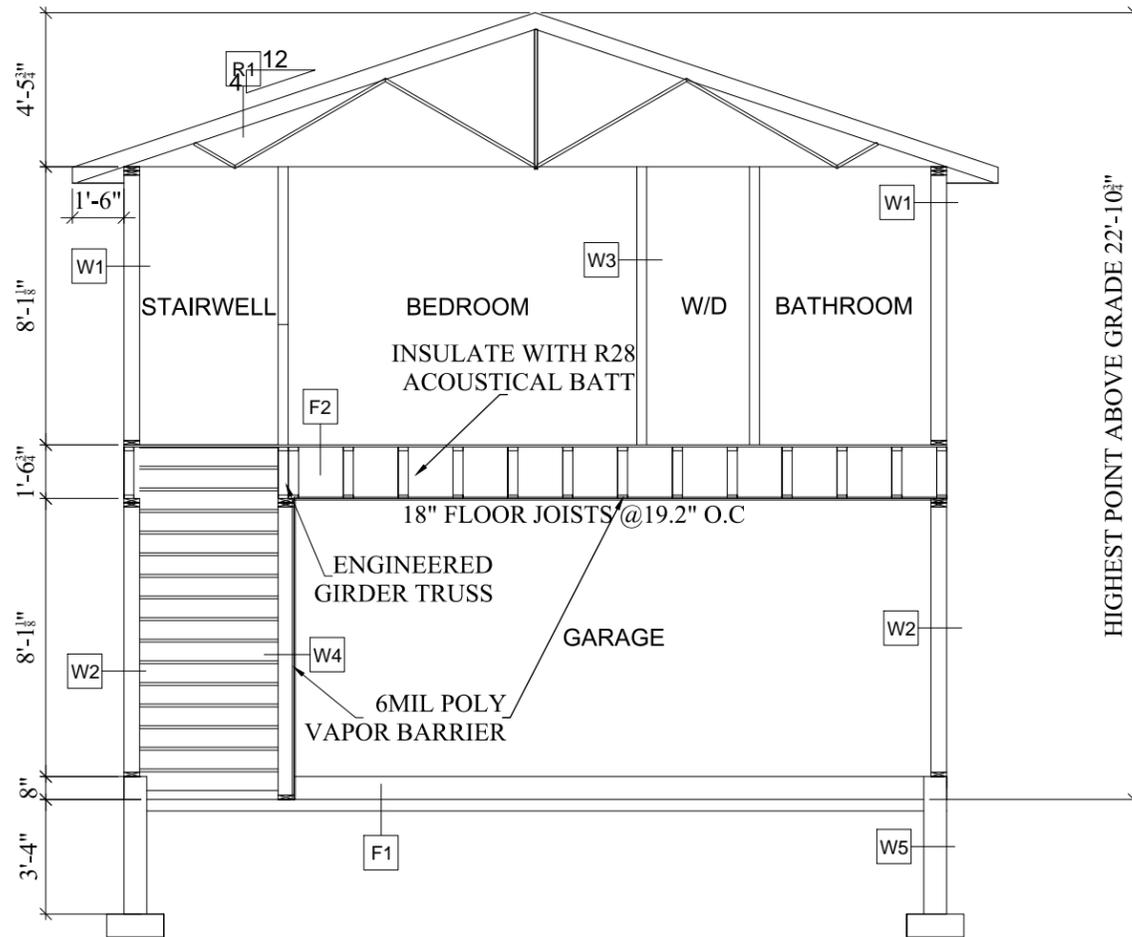
W5 - GARAGE FOUNDATION WALL:

- 8" CONCRETE WALL W/ 2 x 10M REBAR @ TOP & BOTTOM ON 20x8" STRIP FOOTING W/ 2 x 10M REBAR

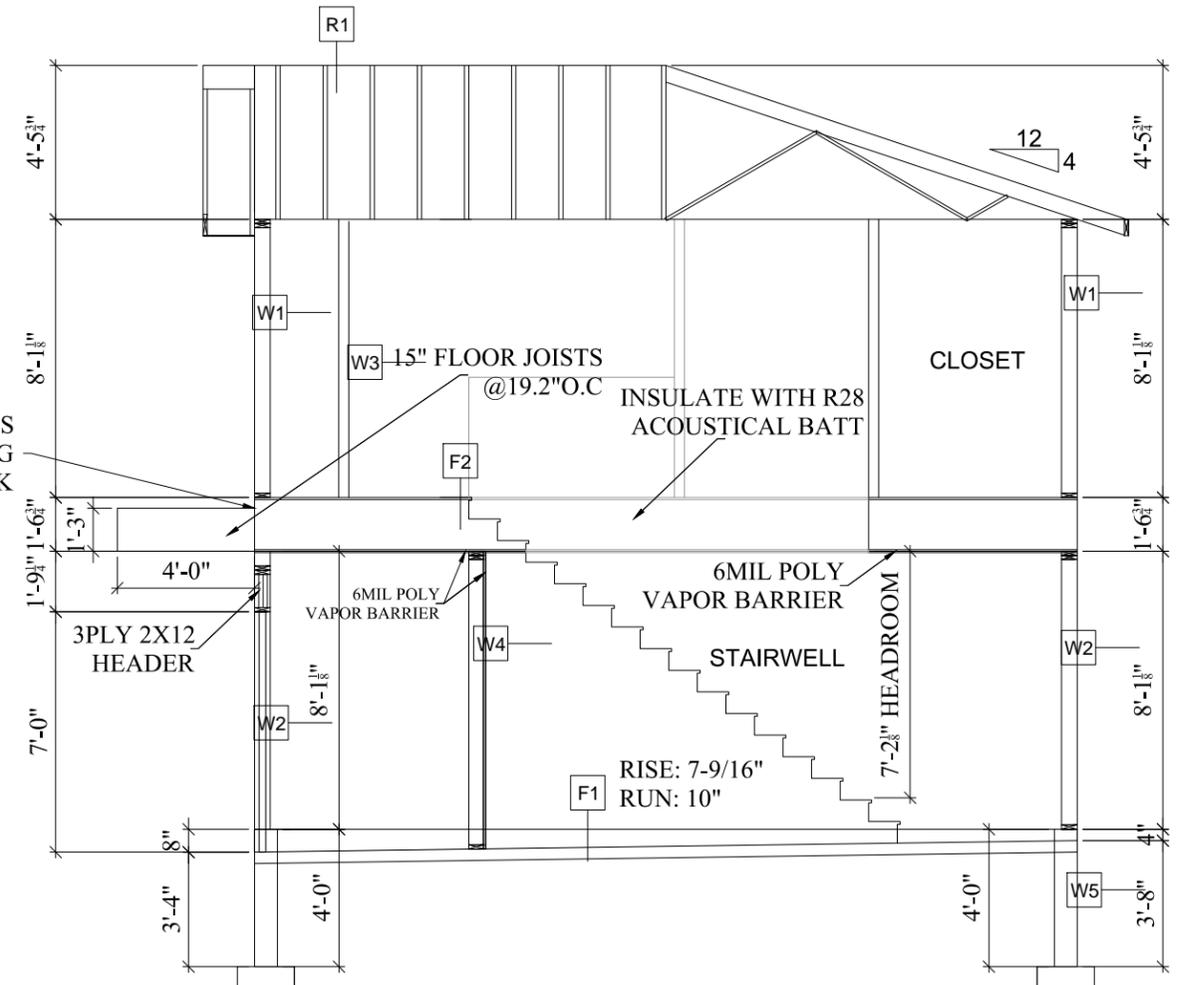
R1 - ROOFING:

- ASPHALT SHINGLES ON
- 3/8" OSB SHEATING
- ENGINEERED TRUSSES
- R50 BLOWN-IN INSULATION
- 6MIL POLY VAPOR BARRIER
- 1/2" DRYWALL

HAVEN OAK		Sheet
JANUARY 9, 2023		A.5
Scale: 3/16" = 1'-0"		
LOT: 22		ADDRESS: 23 TRENT RD W LETHBRIDGE AB
BLOCK: 10		
PLAN: 7710684		



NOTCH FLOOR TRUSSES
3" TO ALLOW FOR WATERPROOFING
ON UPPER DECK



SECTION A

SCALE: 3/16" = 1'-0"

SECTION B

SCALE: 3/16" = 1'-0"

NBC 2019 AB EDITION PART 9.36: PRESCRIPTIVE ENERGY REQUIREMENTS FOR BUILDING ASSEMBLIES

AIR BARRIER SYSTEM: INTERIOR SEALED POLYETHYLENE
COMPLIANCE METHOD: PRESCRIPTIVE
CLIMATIC ZONE: 6
HRV(HEAT RECOVERY) PROVIDED: NO

LOT: 22	ADDRESS: 23 TRENT RD W LETHBRIDGE AB	HAVEN OAK	Sheet
BLOCK: 10		JANUARY 9, 2023	A.6
PLAN: 7710684		Scale: N/A	

ZONE 6 REQUIREMENTS FOR THERMAL PERFORMANCE

NO HRV	RSI-VALUE	EFF. R-VALUE
ABOVE GRADE WALLS	3.08	17.51
ABOVE GRADE WALLS ADJACENT TO ATTACHED GARAGE WALL*	2.92	16.60
WITH HRV (HEAT RECOVERY UNIT)	RSI-VALUE	EFF. R-VALUE
ABOVE GRADE WALLS	2.97	16.88
ABOVE GRADE WALLS ADJACENT TO ATTACHED GARAGE WALL*	2.81	15.97
WITH OR WITHOUT HRV	RSI-VALUE	EFF. R-VALUE
BELOW GRADE WALLS	2.98	16.94
UNHEATED FLOORS ABOVE FROST LINE	1.96	11.14
HEATED FLOORS	2.32	13.19
FLOORS OVER UNHEATED SPACES	4.67	26.55
CEILINGS BELOW ATTICS	8.67	49.29
CATHEDRAL CEILING AND FLAT ROOFS	4.67	26.55
GARAGE EXTERIOR WALL	2.1	11.94
GARAGE CEILING	6	34.11

*NBC 2019 - 9.36.2.4 - Where the building envelope is protected by an attached garage the required effective thermal resistance is permitted to be reduced by RSI value of 0.16 (m²K)/W.

ZONE 6 REQUIREMENTS - FENESTRATION

WINDOWS/DOORS	MAX-U-VALUE	MIN. ENERGY
	1.6	25

RSI/R-VALUES FOR BUILDING ASSEMBLIES

W1 2X6 TYPICAL EXTERIOR WOOD STUD WALL				
	THICK(mm)	RSI/mm	RSI-VALUE	EFF. R-VALUE
EXTERIOR AIR FILM	-	-	0.030	0.17
CEMENT BOARD SIDING	6.35	0.003	0.019	0.11
BUILDING PAPER	-	-	0.000	0.00
OSB SHEATHING	9.5	0.0098	0.093	0.53
2X6 WOOD FRAMING AT 24" O.C. FILLED WITH R24 BATT INSULATION*	-	-	2.800	15.92
POLYETHYLENE SHEET	-	-	0.000	0.00
GYPSON BOARD	12.7	0.0061	0.077	0.44
INTERIOR AIR FILM	-	-	0.120	0.68
Effective RSI/R Value of Assembly			3.140	17.85

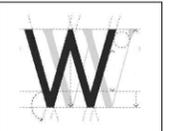
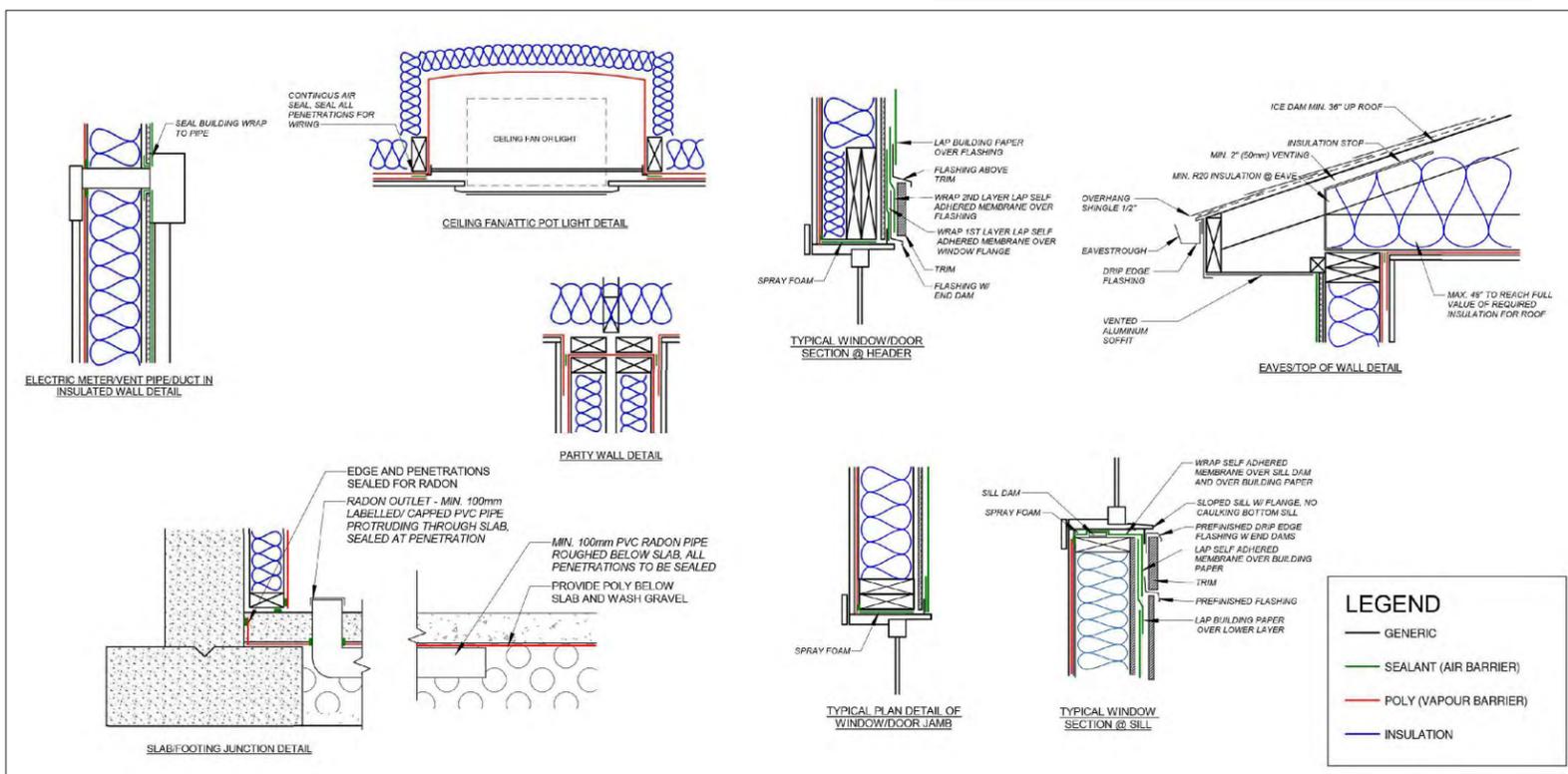
W5 8" CONCRETE FOUNDATION W/ INTERIOR FROST WALL				
	THICKNESS(mm)	RSI/mm	RSI-VALUE	EFF. R-VALUE
EXTERIOR WATER/DAMP PROOFING	-	-	0.000	0.00
CONCRETE WALL	203	0.0004	0.081	0.46
2X6 WOOD FRAMING AT 24" O.C. FILLED WITH R20 BATT INSULATION*	-	-	2.806	15.95
POLYETHYLENE SHEET	-	-	0.000	0.00
GYPSON BOARD	12.7	0.0061	0.077	0.44
INTERIOR AIR FILM	-	-	0.120	0.68
Effective RSI / R of Assembly			3.085	17.54

W4 2X6 INTERIOR WOOD STUD WALL @ GARAGE				
	THICKNESS(mm)	RSI/mm	RSI-VALUE	EFF. R-VALUE
INTERIOR AIR FILM	-	-	0.120	0.68
GYPSON BOARD	12.7	0.0061	0.077	0.44
2X6 WOOD FRAMING AT 24" O.C. FILLED WITH R20 BATT INSULATION	-	-	2.530	14.38
POLYETHYLENE SHEET	-	-	0.000	0.00
GYPSON BOARD	12.7	0.0061	0.077	0.44
EXTERIOR AIR FILM	-	-	0.030	0.17
Effective RSI/R-value of Assembly			2.835	16.12

R1 ROOF ASSEMBLY 01: PRE-ENG TRUSS W/ INS. CEILING				
	THICKNESS(mm)	RSI/mm	RSI-VALUE	EFF. R-VALUE
EXTERIOR AIR FILM	-	-	0.030	0.17
ASPHALT SHINGLES	-	-	-	0.00
BUILDING PAPER	-	-	0.000	0.00
OSB SHEATHING	9.5	0.0098	0.093	0.53
GLASS FIBRE LOOSE FILL INSULATION (R40.5)	380	0.01875	7.125	40.51
WOOD TRUSSES 89mm BOTTOM CHORD AT 24" O.C. FILLED WITH CELLULOSE INSULATION IN CAVITY (R9.5)	-	-	1.473	8.37
POLYETHYLENE SHEET	-	-	0.000	0.00
GYPSON BOARD	12.7	0.0061	0.077	0.44
INTERIOR AIR FILM	-	-	0.110	0.63
Effective RSI of Assembly			8.909	50.65

PRE-ENG FLOOR TRUSSES WITH 2x10 FURRED INSULATED CEILING (R31)				
	THICKNESS(mm)	RSI/mm	RSI-VALUE	EFF. R-VALUE
INTERIOR AIR FILM	-	-	0.160	0.91
OSB SHEATHING	9.5	0.0098	0.186	1.06
PRE-ENGINEERED WOOD TRUSSES	-	-	-	0.00
2x10 DROPPED WOOD FRAMING AT 24" O.C. FILLED WITH R31 BATT INSULATION IN CAVITY	-	-	4.456	25.33
POLYETHYLENE SHEET	-	-	0.000	0.00
GYPSON BOARD	12.7	0.0061	0.077	0.44
EXTERIOR AIR FILM	-	-	0.030	0.00
Effective RSI of Assembly			4.909	27.910

CONSTRUCTION DETAILS



Development Application Checklist

Low Density Residential - Single Detached Dwelling, Two-Unit, Secondary Suite

Project Address

Access Code

Base Requirements

One digital copy (PDF form) of each of the following:

		Office Use
Site Plan	<input type="checkbox"/>	<input type="checkbox"/>
Floor Plans	<input type="checkbox"/>	<input type="checkbox"/>
Building Elevation Drawings	<input type="checkbox"/>	<input type="checkbox"/>
Certificate of Title (within the last 30 days)	<input type="checkbox"/>	<input type="checkbox"/>
Other	<input type="checkbox"/>	<input type="checkbox"/>
Completed Application Form	<input type="checkbox"/>	<input type="checkbox"/>
Application Fee	<input type="checkbox"/>	<input type="checkbox"/>

Base Information

Every Page of the submitted plans and drawings must contain the following information:

- Legal Information
- Municipal Address
- Drawing Date and Number
- Drawing Scale
- Project Name/Description

Specific Information

Site Plan

1. Must be oriented with north at the top of the page and show a north arrow

2. Must indicate in a text block:

the proposed land use(s)	<input type="checkbox"/>	Office Use <input type="checkbox"/>
the proposed density	<input type="checkbox"/>	
number of regular parking spaces	<input type="checkbox"/>	

3. Shows dimensions in metric and identifies:

the subject parcel lines dimensioned in accordance with the registered plan	<input type="checkbox"/>	Office Use <input type="checkbox"/>
all easements, utility ROWs, and other applicable encumbrances	<input type="checkbox"/>	
all the existing and proposed buildings on the subject parcel	<input type="checkbox"/>	
the building setback distances and separation distances measured in accordance with the LUB definitions and shown with a dimension line	<input type="checkbox"/>	Office Use <input type="checkbox"/>
all driveways parking areas	<input type="checkbox"/>	
the on-site and off-site connection to sidewalks and pathways	<input type="checkbox"/>	
all areas to be landscaped (infill only)	<input type="checkbox"/>	
the existing above ground utility structures	<input type="checkbox"/>	Office Use <input type="checkbox"/>

Floor Plans

Shows dimensions in metric and identifies:

the layout of each floor including all door and window openings	<input type="checkbox"/>	Office Use <input type="checkbox"/>
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Building Elevation Drawings

Shows in colour, dimensions in metric, and identifies

all building faces and grade lines with geodetic elevations noted	<input type="checkbox"/>	Office Use <input type="checkbox"/>
the roofs, eave overhangs, roof slope and roof structures	<input type="checkbox"/>	
the building height the peak of the roof measured in accordance with the LUB definition for height, for all building faces	<input type="checkbox"/>	Office Use <input type="checkbox"/>
the façade finish materials and colour	<input type="checkbox"/>	

Development Permit Application

Low Density Residential - Single Detached Dwelling, Two-Unit, Secondary Suite

All of the following information is necessary to facilitate a thorough and timely evaluation and decision of your application. All materials submitted must be clear, legible and precise. Only applications that are complete will be accepted. **PLEASE NOTE: this application is ONLY for a development permit. If a building permit is also required, you must apply for it separately.**

Project Address

Access Code

Applicant

Name _____

Address _____

City _____ Postal Code _____

Phone _____

E-mail _____

Signature 2023.01.05 19:12:39-07'00' Brad Vandenberg

Property Owner

Name _____

Address _____

City _____ Postal Code _____

Phone _____ B/L # _____

E-mail _____

Signature 2023.01.05 19:12:54-07'00' Brad Vandenberg

Providing an email means you consent to receiving documents or communications related to this application, including but not limited to development permit decisions, acknowledgments confirming an application is complete, an any notices identifying any outstanding documents and information, by email.

Does the property have any registrations on title? Yes No
 Have you reviewed any registrations on title? Yes No

As the applicant I affirm:

- I am the registered owner of the above noted property
- I have entered into a binding agreement to purchase the above noted property with the registered owner(s)
- I have permission of the registered owner(s) of the above noted property to make the attached application for a Development Permit

Description of Work:

Has a dwelling(s) existed on this lot previously? Yes No
 Is a waiver required? Yes No
 Square footage of dwelling(s) (not including basement and garage spaces) 62 m²

Type of Work Being Performed: (Check all applicable)

- | | | | |
|---|--|---|--|
| <input type="checkbox"/> Single Detached Dwelling | <input type="checkbox"/> Two-Unit Dwelling | <input type="checkbox"/> Secondary Suite (<input type="checkbox"/> Existing) | <input type="checkbox"/> Addition |
| <input type="checkbox"/> Attached Garage | <input type="checkbox"/> Detached Garage | <input type="checkbox"/> Shed | <input type="checkbox"/> Carport |
| <input type="checkbox"/> Covered Deck | <input type="checkbox"/> Uncovered Deck | <input type="checkbox"/> Fence (Over-height) | <input type="checkbox"/> Compliance Waiver |

Detailed Description of Work:

Office Use Only		Development Fees to be charged	
Permit Required	<input type="checkbox"/> Yes <input type="checkbox"/> No	Overlay	_____
Zoning	_____	Development Permit #	_____
Allowable Use	<input type="checkbox"/> Permitted <input type="checkbox"/> Discretionary	Building Permit #	_____
		Permit Fee	_____
		Advertising Fee	_____
		Total	_____

Any personal information collected on this form is collected under the Municipal Government Act and in accordance with the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing permits and planning & development purposes. Please Note that such information may be made public. If you have any questions about the collection, use, or disclosure of the personal information provided, please contact Information Management at 910 4 Ave S, Lethbridge, AB, T1J 0P6 or by phone at 403-329-7329

DEVI 4262 – SECONDARY SUITE
OVER NEW DETACHED GARAGE

BACKGROUND - SDAB

- An application to develop a secondary suite was received on January 10, 2023.
- No Waivers were required or requested
- Neighbourhood Notification Letters were sent to residents within 60m radius of the subject parcel on February 17, 2023, with the comment period ending on March 1, 2023.
- Comments were received related to density, parking/traffic congestion, visual impact, privacy concerns, overall feel that the neighborhood was changing.
- The permit was issued on March 8, 2023, and advertised in the March 11th, 2023 edition of the Lethbridge Herald.

LOCATION
23 TRENT ROAD WEST



APPROVED ELEVATIONS

W

FRONT ELEVATION
SCALE 1/8" = 1'-0"

RIGHT ELEVATION
SCALE 1/8" = 1'-0"

REAR ELEVATION
SCALE 1/8" = 1'-0"

LEFT ELEVATION
SCALE 1/8" = 1'-0"

Lethbridge APPROVED
LAND USE BYLAW 8308
March 5, 2023
DEV14292

Sheet No.	A.4
Scale	1/8" = 1'-0"
Date	March 5, 2023
Project No.	DEV14292

NOTIFICATION



Planning & Design
Main Floor, City Hall
818 - 8th Avenue South
Lethbridge, AB, T1J 0R8

SUSTAINABLE COMMUNITY
P: 403-320-3620
W: Lethbridge.ca
E: PlanningandDesign@lethbridge.ca

February 17, 2023

NOTICE TO NEIGHBOURS This letter is being sent to property owners within a 60 meter radius of:

23 Trent Road West

An application has been received to develop a secondary suite over a detached garage.
If you require any further information about this development application, please contact Planning & Design at 403-320-3920, by March 1, 2023.
We would appreciate any comments that you may have regarding this development. Comments either in-support-of or against the proposal are required to be provided in writing and must detail how and why the proposal may impact you, your property, and/or your community. Please note that all information you provide can be made public.

Sincerely,

Joshua Bourelle
Development Officer I

cc: Applicant
City of Lethbridge 311

23 Trent Road West



February 17, 2023

1:3,000

CONCERNS AND ANALYSIS

1. **Density** – There are 2 other approved secondary suites within the 60m notification radius. 11 Trent Rd, and 220 Ryerson Rd. Many comments referred to dwellings in the neighborhood being used for rentals. For planning purposes, we do not look at the ownership or living arrangements of occupants. We look at the structure itself.
2. **Parking/traffic congestion** – Proposed property has 4 off-street parking stalls provided, thereby exceeding the required off street parking. This will not add to the on street parking and congestion issues.
3. **Visual impact** – Proposed garage has a larger rear setback than the minimum requirement, and it's height has been minimized to the extent possible. Furthermore, people are not entitled to views, and with the garage being in the rear yard, it will not detract from the overall streetscape feel of the neighbourhood.
4. **Privacy concerns** – Window openings have been strategically placed to mitigate privacy concerns. Windows are facing predominantly to the east and west directions thereby minimizing privacy concerns of the directly adjacent neighbors. The one window that does face the directly adjacent north neighbor is at the top of the stairs, and not in a central location such as a bedroom or living area where occupants would be spending the most of their time.
5. **Overall changing neighborhood** – many people were not happy with the rental nature of the neighborhood that they feel many of the existing homes operate as, citing overall issues such as upkeep, yard orderliness, street parking. The applicant for the current project is investing in the neighborhood and renovating the existing house, thereby adding value to the neighborhood.

Some comments focused on the perception that the presence of rental units will negatively affect resale potential. However, housing market appeal is far more complicated than one single issue. Furthermore, current economic realities may necessitate potential rental income for people to move into the housing market. Given the number of calls we receive from home buyers, realtor, and lawyers, the potential for a secondary suite is an increasingly important factor in deciding on where to purchase a residence.

CONCLUSION

- The application followed the typical process for a proposed secondary suite in an existing dwelling, and concerns identified to not adequately reflect the potential impact of the proposed project.

Recommendation

- That the application for the secondary suite be upheld with the same conditions of the initial approval:
- 1. The secondary suite is approved and shall be developed in accordance with the plans submitted January 9, 2023. Any change to these plans requires the approval of the Development Officer.
- 2. A minimum of three off-street parking stalls (2 for the single detached dwelling and 1 for the secondary suite) shall be provided and maintained at all times.