



# WATERBRIDGE AREA STRUCTURE PLAN

OCTOBER 2014

Approved by Lethbridge City Council - February 2, 2015



BYLAW 5907

\*\*\*\*\*

A BYLAW OF THE CITY OF LETHBRIDGE  
TO ADOPT AN AREA STRUCTURE PLAN FOR LANDS  
WITHIN THE CITY OF LETHBRIDGE

\*\*\*\*\*

WHEREAS Section 633(1) of the Municipal Government Act, Chapter M-26, R.S.A. 2000, provides as follows:

633(1) For the purpose of providing a framework for subsequent subdivision and development of an area of land, a council may, by bylaw, adopt an area structure plan.

AND WHEREAS the Council of the City of Lethbridge wishes to adopt an Area Structure Plan for that area of land in the City of Lethbridge generally described as:

1. Ptn of NW ¼ 23-8-22 W4M
2. Ptn of SW ¼ 22-8-22 W4M
3. Legal Subdivisions 1 and 2, 22-8-22 W4M
4. Ptn of SW ¼ 23-8-22 W4M
5. Plan 1012889 Block 1 Lot 2PUL
6. Ptn of SE ¼ 23-8-22 W4M
7. Ptn of NW ¼ 15-8-22 W4M
8. NE ¼ 15-8-22 W4M
9. NW ¼ 14-8-22 W4M
10. Ptn of NE ¼ 14-8-22 W4M

Including all Road Allowances contained within those Sections and Registered Plans.

NOW THEREFORE, THE COUNCIL OF THE CITY OF LETHBRIDGE, IN THE PROVINCE OF ALBERTA, DULY ASSEMBLED, DOES HEREBY ENACT AS FOLLOWS:

1. The Plan which is attached hereto as Appendix "A" is hereby adopted as the Area Structure Plan for that area of land in the City of Lethbridge generally described as:

1. Ptn of NW ¼ 23-8-22 W4M
2. Ptn of SW ¼ 22-8-22 W4M
3. Legal Subdivisions 1 and 2, 22-8-22 W4M
4. Ptn of SW ¼ 23-8-22 W4M
5. Plan 1012889 Block 1 Lot 2PUL

- 6. Ptn of SE ¼ 23-8-22 W4M
- 7. Ptn of NW ¼ 15-8-22 W4M
- 8. NE ¼ 15-8-22 W4M
- 9. NW ¼ 14-8-22 W4M
- 10. Ptn of NE ¼ 14-8-22 W4M

Including all Road Allowances contained within those Sections and Registered Plans,

as shown on the attached Appendix "B"),

and shall be known as the "Waterbridge Area Structure Plan".

- 2. This Bylaw shall come into force on the date of final passage thereof.

READ A FIRST TIME this 8<sup>TH</sup> day of DECEMBER 2014.

C.A. Spearman D. Sossfield  
 MAYOR DEPUTY CITY CLERK

READ A SECOND TIME this 2 day of February 2015.

C.A. Spearman D. Sossfield  
 MAYOR CITY CLERK

READ A THIRD TIME this 2 day of February 2015.

C.A. Spearman D. Sossfield  
 MAYOR CITY CLERK

# Waterbridge

---

## Area Structure Plan

**PREPARED FOR:**

City of Lethbridge Real Estate and Land Development  
Lethbridge, Alberta

**PREPARED BY:**

Associated Engineering  
Brown & Associates Planning Group  
City of Lethbridge

October 2014

Approved by Lethbridge City Council - February 2, 2015

## Executive Summary

The Waterbridge Area Structure Plan creates a structure to accommodate future new community growth in a defined area of Lethbridge. It contains land use and development guidance for the general public, developers, landowners, Municipal Planning Commission members and City Council. The Waterbridge Area Structure Plan links the City's Integrated Community Sustainability Plan / Municipal Development Plan to the Land Use Redesignation and Subdivision process. It takes City-wide policy, applies it to a specific geographic area, but further defines and articulates the range of land uses, residential densities, community facilities, open spaces, transportation networks and municipal servicing which are necessary for a new and complete community for the residents of Lethbridge.

Waterbridge is located at the intersection of Metis Trail and Chinook Trail in southwest Lethbridge. It will contain two new neighbourhoods, east and west of Metis Trail, encompassing 263 hectares (649 acres), and will, at full build-out, accommodate approximately 8,800 people. The size of Waterbridge enables it to include a variety of low and higher density housing choices and opportunities to incorporate local commercial, recreational and institutional uses. The community offers options for housing, mobility and recreation. The design supports a safe and convenient network of open spaces and pathways which connect the subdivisions to each other. The neighbourhood nodes, combined with the park nodes, provide focal points for residents to interact and socialize by creating a sense of place. The plan encourages active transportation modes by creating opportunity for a well-connected, modified-grid road pattern. There will be a concerted effort to incorporate the natural open spaces and engineered open spaces (i.e. stormwater facilities) into the overall open space plan.

The Waterbridge Community will develop from east to west gradually over the next few decades. Based on the policies contained in the Waterbridge Area Structure Plan and market conditions, Outline Plan and Land Use Redesignation applications will proceed for consideration by the Municipal Planning Commission and Council.



# Table of Contents

## Executive Summary

1.	<b>Introduction</b>	1	8.	<b>Implementation</b>	35
	1.1 Purpose	1		8.1 Development Phasing	35
	1.2 Objective	1		8.2 Approval Process	36
	1.3 Planning Process	1		<b>Appendix A – Terms of Reference</b>	
2.	<b>Existing Conditions</b>	6		<b>Appendix B – Titles</b>	
	2.1 Physical Characteristics	6		<b>Appendix C – Historical Resources Clearance Letter</b>	
	2.2 Existing & Approved Land Uses	10		<b>List of Figures</b>	
3.	<b>Planning Policy Context</b>	11		1 Location Plan	2
	3.1 City of Lethbridge ICSP/MDP	11		2 Ownership Map	3
	3.2 Parks Master Plan & Bikeways & Pathways Master Plan	11		3 Plan Boundaries	4
	3.3 Transportation Master Plan	12		4 Regional Context Plan	5
	3.4 West Lethbridge Urbanization Plan	12		5 Topography	7
	3.5 Surrounding Area Structure Plans	12		6 Natural Features Map	8
4.	<b>Vision and Principles</b>	14		7 Constraints	9
	4.1 Vision for Waterbridge	14		8 Policy Context	13
	4.2 Plan Goals & Objectives	14		9 Land Use Concept	19
5.	<b>Land Use Concept and Policies</b>	17		10 Schools, Park and Open Space	22
	5.1 Land Use Concept & Residential Density	17		11 Transportation Network Concept	26
	5.2 Residential	17		12 Stormwater Servicing	28
	5.3 Neighbourhood Node	20		13 Water Servicing	30
	5.4 Open Space System	20		14 Sanitary Sewer Servicing	32
	5.5 Schools	23		15 Fire Response Modeling	34
	5.6 Swing Sites	23		16 Future Outline Plan Areas	37
	5.7 Emergency Services	23		<b>List of Tables</b>	
6.	<b>Transportation</b>	24		1 Units & Population Calculations	18
	6.1 Regional Road Network	24			
	6.2 Internal Road Network	24			
	6.3 Pedestrian & Bicycle Circulation	24			
	6.4 Transit Service	25			
	6.5 Window Street	25			
7.	<b>Deep Utility Servicing</b>	27			
	7.1 Stormwater Servicing	27			
	7.2 Water Servicing	29			
	7.3 Sanitary Sewer Servicing	31			
	7.4 Fire Response	33			

# 1 INTRODUCTION

## 1.1 PURPOSE

The Waterbridge Area Structure Plan (ASP) sets a policy framework for the more detailed planning of future subdivision and development in a new development area. The ASP integrates the City's high-level policy objectives, including those of: *The City of Lethbridge Integrated Community Sustainability Plan/Municipal Development Plan, Parks Master Plan, Bikes and Pathways Master Plan and Transportation Master Plan*. This plan sets out the basic land use, transportation and servicing for the anticipated population of the new subdivision area. The Waterbridge ASP will be the guiding document in preparation of Outline Plans as well as future Land Use Redesignations within the ASP area.

## 1.2 OBJECTIVE

This ASP sets a framework to design and develop the subdivision on the basis of creating a diverse, vibrant, and connected community. The subdivision design will advance various objectives of the City and the citizens of Lethbridge. The plan aims to: support households from a range of socio-economic situations, allow for commercial and institutional facilities and recreational amenities in the subdivision, and offer transportation mode options. Overall, the plan enhances the variety and connectivity throughout the subdivision to encourage local activity and interaction in turn developing a sense of community.

## 1.3 PLANNING PROCESS

Planning of the initial Waterbridge area occurred through 2008 and 2009. Originally, the Waterbridge area was limited to those lands east of Metis Trail. Technical study and review, and stakeholder and public consultation were undertaken. Consultation was undertaken with stakeholders to clarify direction for the plan and ensure support of the plan objectives. Stakeholders from the City of Lethbridge included representatives from: Community Planning, Urban Construction, Transportation, Water and Waste Water, Transit, and Parks. A set of Guiding Principles presented and discussed with the stakeholders formed the basis of the ASP Design Principles.

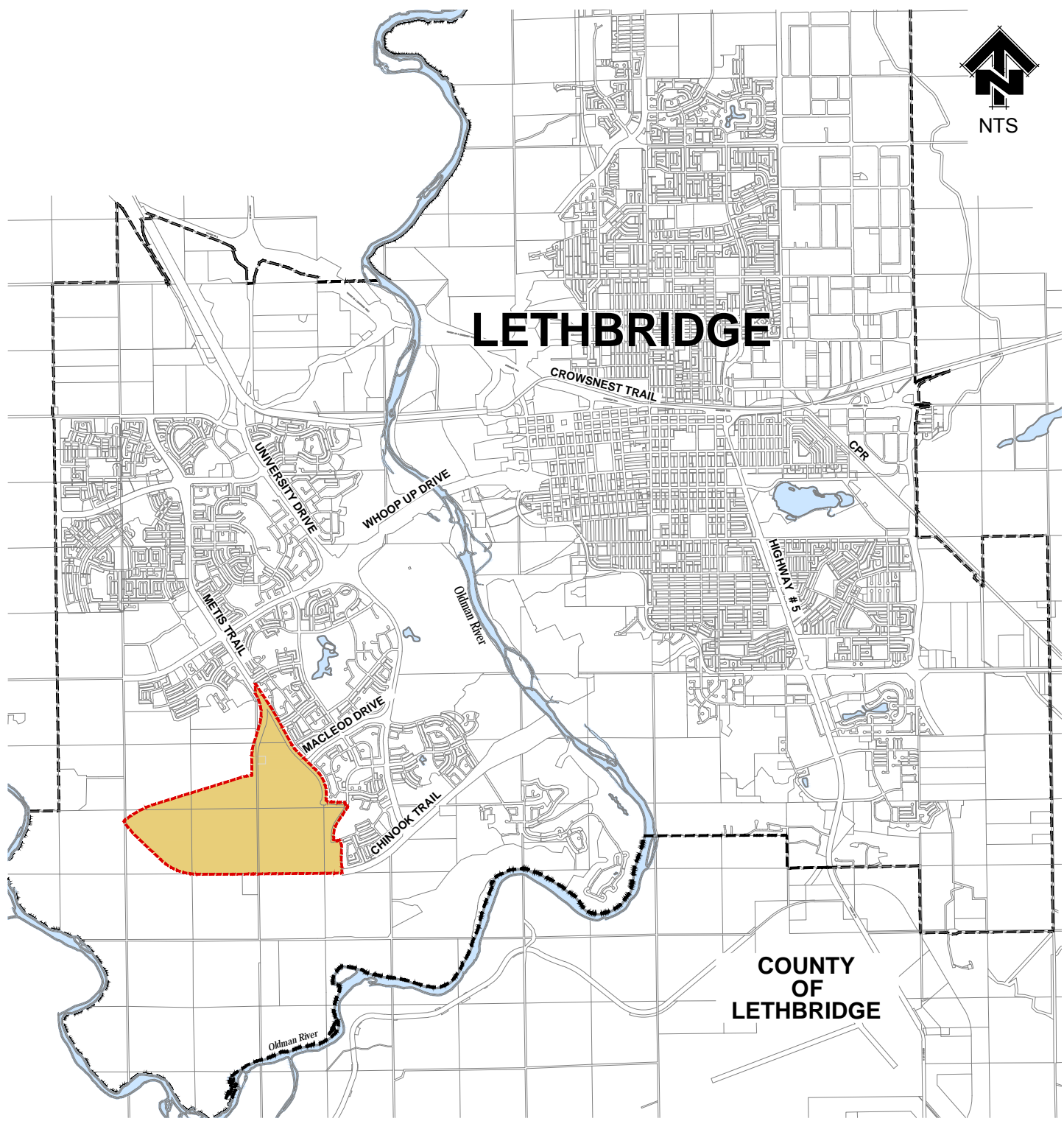
On November 18, 2009, an open house for the initial Waterbridge ASP was held to provide information to and collect comments from the community. Over 60 people attended the open house and viewed information regarding the vision and design principles for the development, context plan, and development concept and planning process timeline. In general, the response from the public was positive. Several comments were collected and taken forward for consideration.

Evaluation of the City of Lethbridge's long-term land requirements in 2010 and 2011 resulted in the expansion of the Waterbridge Area Structure Plan area to include both city-owned and private lands west of Metis Trail. Background studies were completed for these additional lands which provided support for an expanded Land Use Concept for Waterbridge. A Terms of Reference for the expanded Waterbridge ASP were prepared by the City of Lethbridge in mid-2011 and provided the basis for the re-drafting of the ASP to accommodate the expansion area. The City's Plan Review Committee has reviewed the revised draft Waterbridge ASP. Two Public Open Houses were held at the end of 2012 and Spring of 2013 to receive public comment prior to Council's consideration of the proposed Waterbridge ASP.

Jan 09, 2013 - 1:02pm W:\1154 Waterbridge ASP & OP\DWG\Figures ASP\Sept 2012\1154\_Figures rev Sept2012.dwg Layout: Location



# LETHBRIDGE





COUNTY OF LETHBRIDGE

## 2. Location

The Waterbridge lands are located in West Lethbridge. The lands contained within the ASP include lands within the following quarter sections: NW 15-08-22-W4M, NE 15-08-22-W4M, SW 22-08-22-W4M, SE 22-08-22-W4M, NW 14-08-22-W4M, NE 14-08-22-W4M, NW 23-08-22-W4M, SE 23-08-22-W4M and SW 23-08-22-W4M.

Figure 1, Location plan, illustrates the location of the Waterbridge ASP within the City of Lethbridge.

### Legend

-  Waterbridge Area Structure Plan Area
-  City Boundary

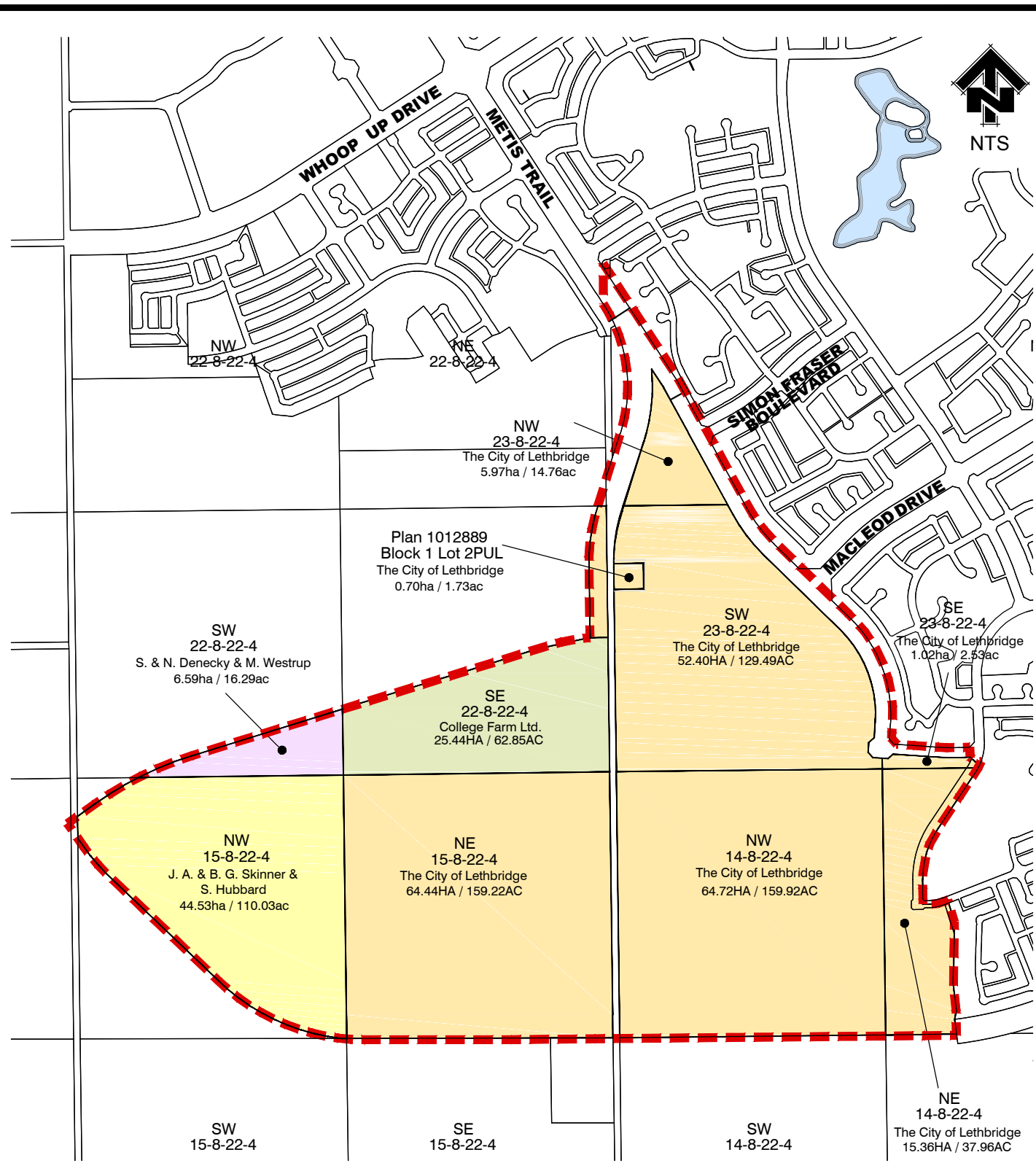


**Figure 1**  
**Location Plan**





Nov 20, 2014 -- 1:36pm W:\1154 Waterbridge ASP & OP\DWG\Figures ASP\Jan 2013\1154\_Figures rev Nov2014.dwg Layout:Ownership



### 2.2 Land Ownership

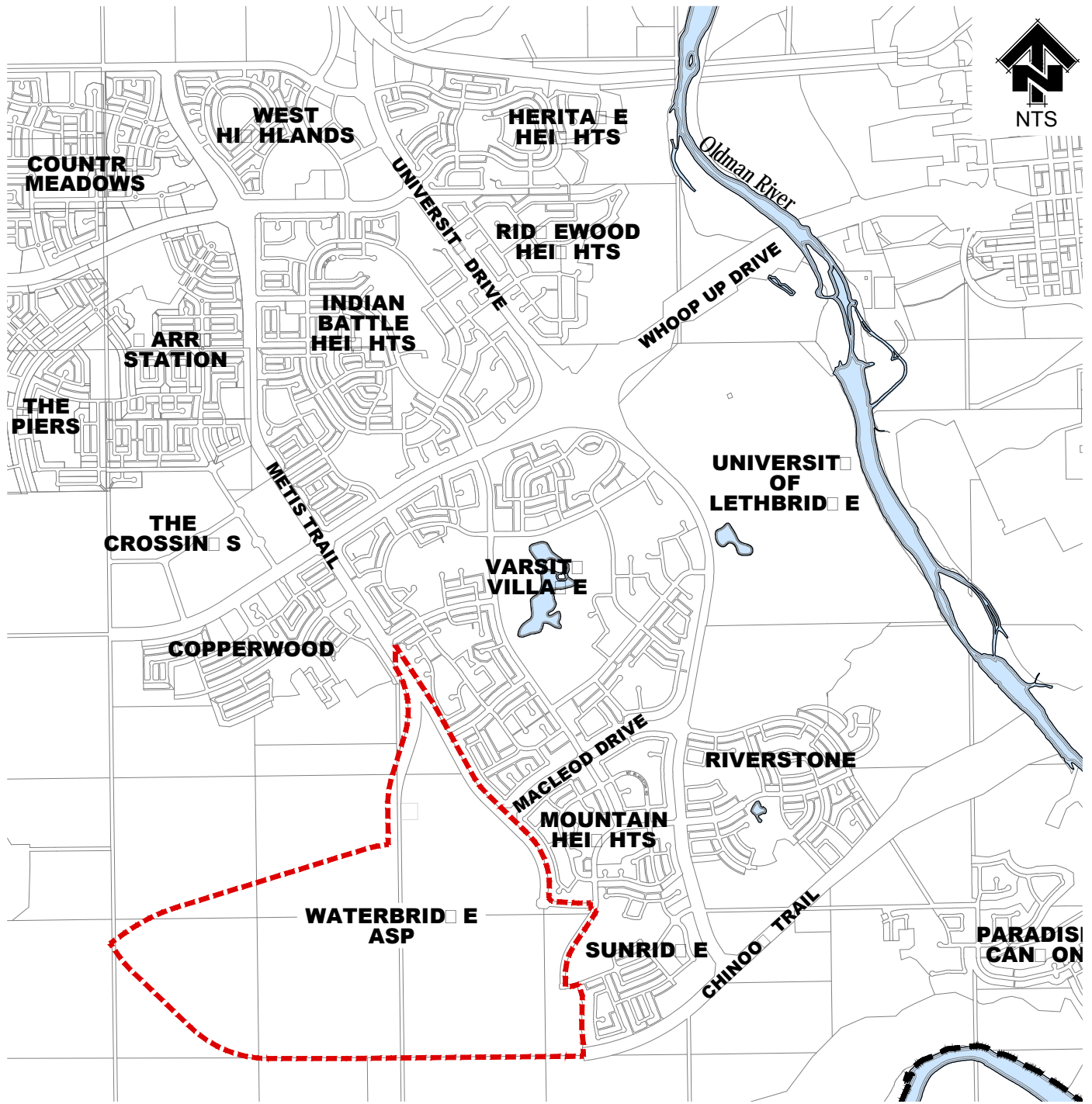
Figure 2, Land Ownership, illustrates the ownership of public and private lands in Waterbridge.

**Legend**  
 --- Area Structure Plan Boundary



## Figure 2 Ownership Map





**2. Waterbridge ASP Area**

The ASP Area consists of ±263 hectares (±649 acres) in the southwest of the City of Lethbridge. Figure 3, Plan Boundaries, illustrates the boundaries of the subject lands. The eastern boundary of the Waterbridge ASP is defined by the existing communities of Varsity Village, Mountain Heights and Sunridge. Future Chinook Trail defines the southern boundary. The extension of Macleod Trail comprises the northwest boundary and Metis Trail forms the western boundary in the north portion of the plan area.

The ASP Area includes two new residential neighbourhoods. The neighbourhoods will each consist of three (3) Neighbourhood Nodes, which will be activity centres that act as the neighbourhood focal point.

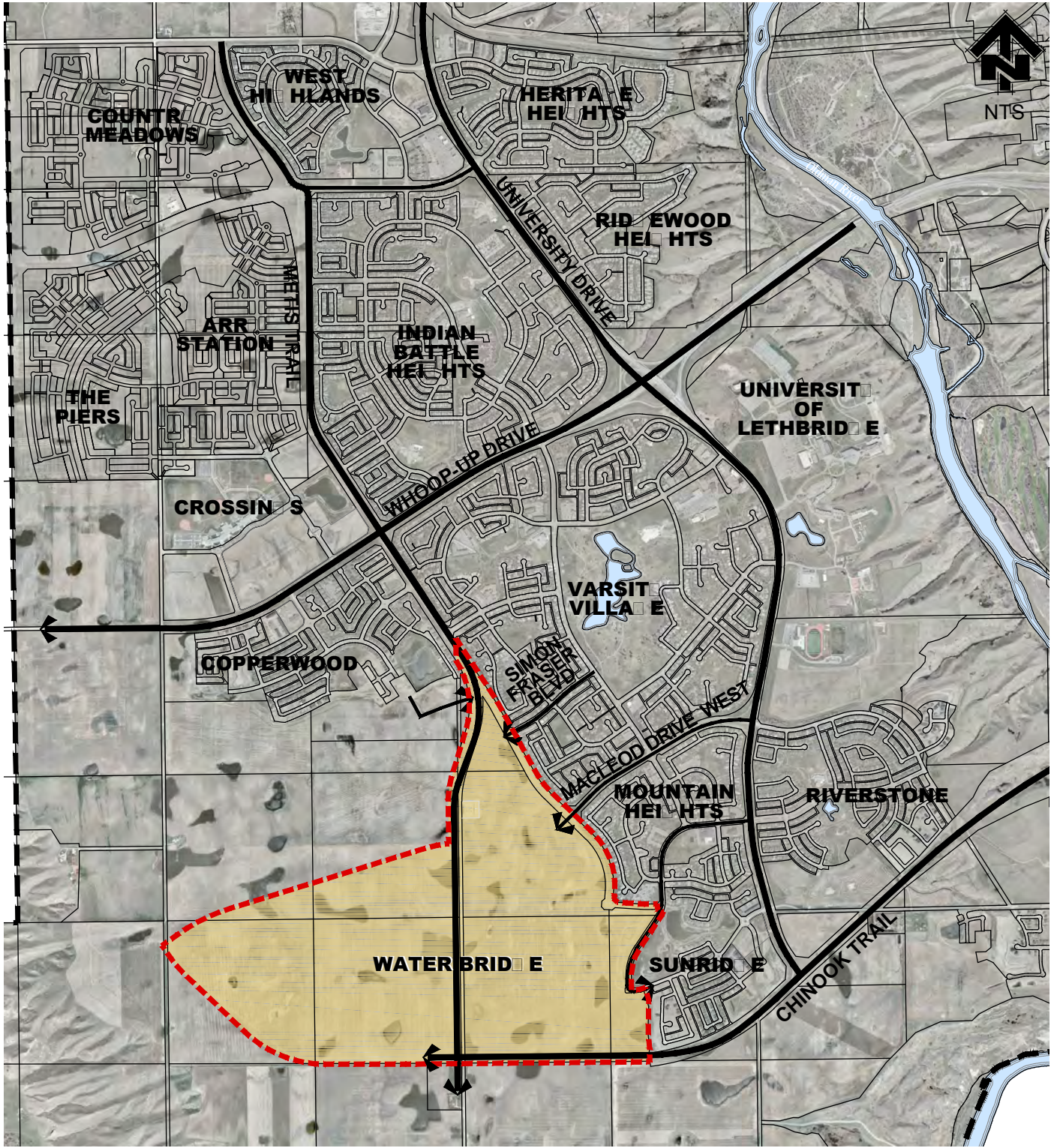
**Legend**

- - - Area Structure Plan Boundary
- City Boundary



**Figure 3  
Plan Boundaries**

Feb 06, 2013 - 9:20am W:\1154 Waterbridge ASP & OP\DWG\Figures ASP\Jan 2013\1154\_Figures rev Sept2012.dwg Layout:Regional Context Plan



Aerial Photo 2011

### 2. Regional Context

Figure 4, Regional Context, illustrates the Waterbridge ASP within the context of adjacent southwest communities.

- Legend**
- - - Area Structure Plan Boundary
  - - - City Boundary



**Figure 4**

## Regional Context Plan



## 2 EXISTING CONDITIONS

### 2.1 PHYSICAL CHARACTERISTICS

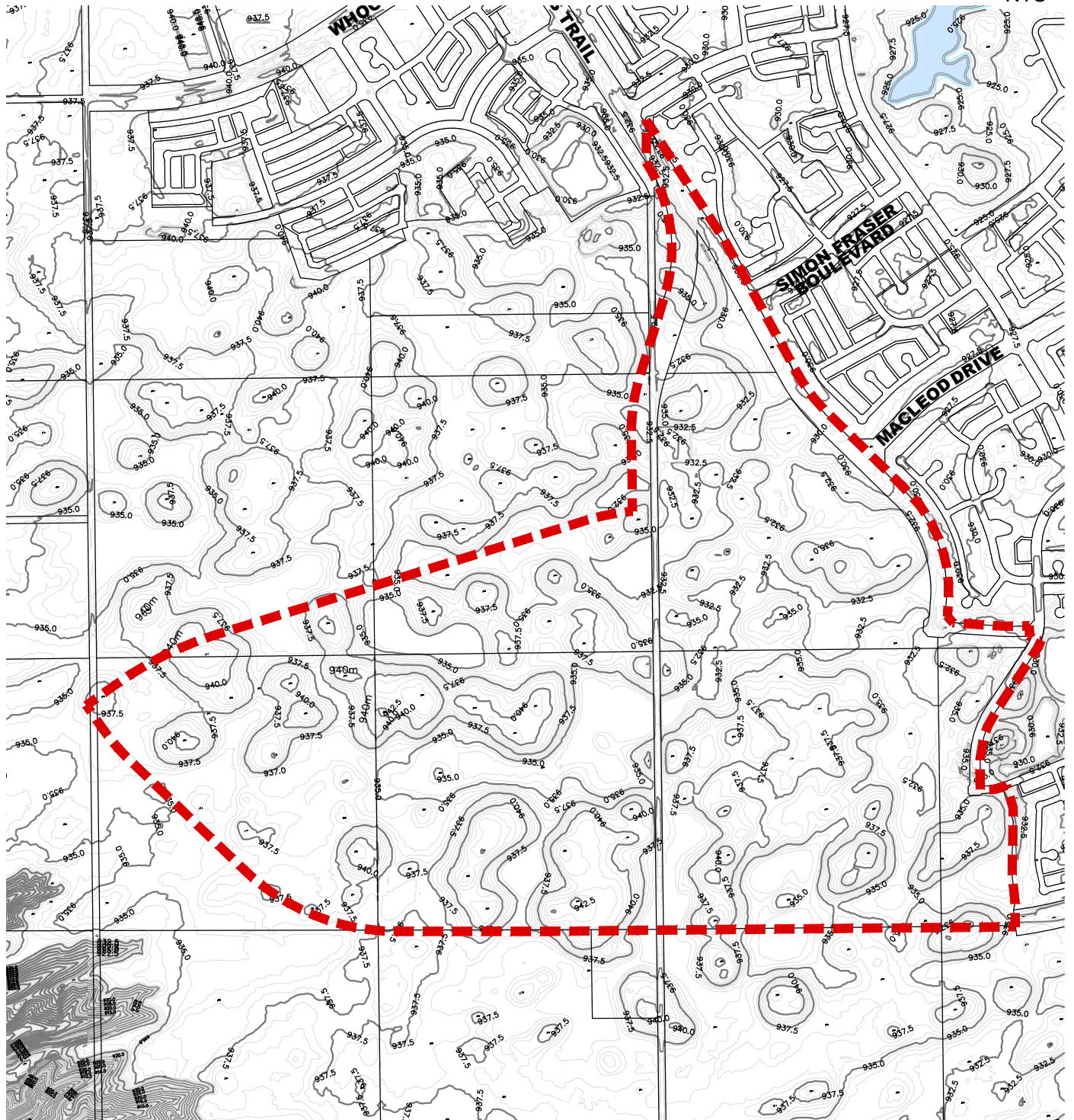
The site is generally an undulating plain as demonstrated on Figure 5. A *Geotechnical Evaluation, Desktop Study* was completed by EBA Engineering Consultants Ltd for the ASP area. Based on a historical review of the property this land has been primarily utilized for agricultural purposes and has not been developed. Within some areas of the property historical air photos indicate a number of low lying areas, in some cases evident as seasonal sloughs. Site drainage generally appeared to be towards low-lying areas, with marginal off-site drainage noted, resulting in seasonal surface water ponding in some areas. No geotechnical issues are anticipated for the ASP area.

All wetlands on the property have been degraded through plowing and cultivation. Habitats have low potential for wildlife diversity and abundance. Direct habitat loss through future development of the lands will involve mainly common and wide-ranging species (Sweetgrass Consultants Ltd). Rare plant species will be protected in accordance with the Biophysical Impact Assessment. Further wetland assessment will occur at the Outline Plan stage of development.



A Historical Resources Overview was prepared by Lifeways of Canada Limited and submitted to the Historic Resources Management Branch (HRMB) of Alberta Culture and Community Spirit for the Waterbridge area. The HRMB confirmed that the lands included in the Waterbridge Area Structure Plan are not listed within the Listing of Historic Resources and that the likelihood of disturbance of significant historic resources is low. Therefore the HRMB determined that a historic resources impact assessment is not required (the clearance letter provided by Alberta Culture and Community Spirit is found in Appendix C). Figure 6 illustrates natural features and Figure 7 illustrates constraints within Waterbridge. Constraints within Waterbridge include gas wells and underground pipelines in the western portion of the Area Structure Plan. As development of Waterbridge will proceed from east to west, these wells and pipelines will be incorporated into the later stages of the community's development.

#### Policies:

- 2.1.1 At the Outline Plan stage of development existing gas wells and pipelines shall be incorporated into design for the new community.
- 2.1.2 Based on Provincial regulations regarding development setbacks from gas wells and pipelines, these facilities shall be incorporated into the community's open space network and form part of the park and pathways system, where feasible.
- 2.1.3 At the Outline Plan stage of development additional biophysical and geotechnical work shall be performed to further assess the wetlands.



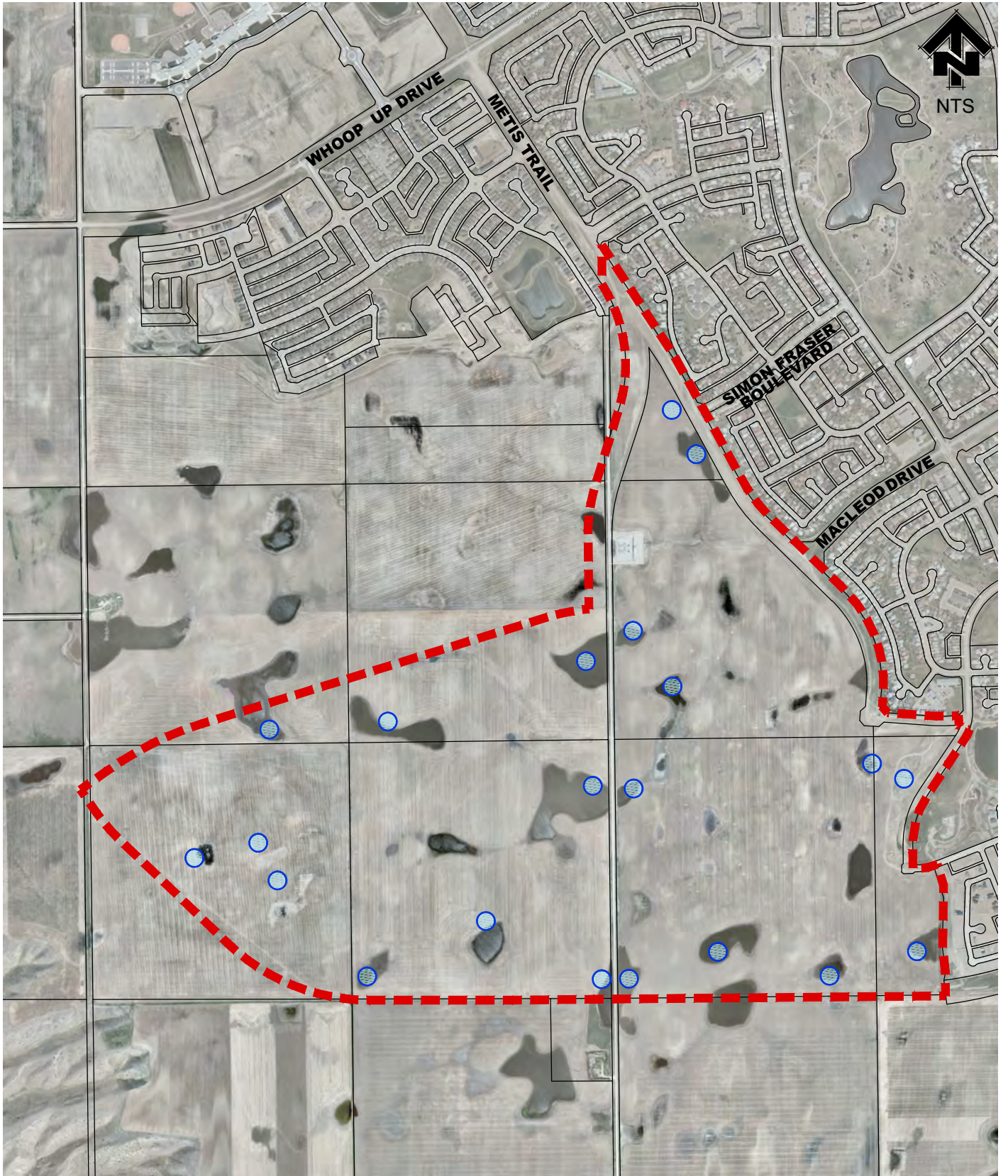
Jan 09, 2013 - 1:06pm W:\1154 Waterbridge ASP & OP\DWG\Figures ASP\Sept 2012\1154\_Figures rev Sept2012.dwg Layout: Topography

**Legend**  
 Area Structure Plan Boundary  
 Contour interval 0.5m



**Figure** □  
**Topograph** □





Aerial Photo 2011

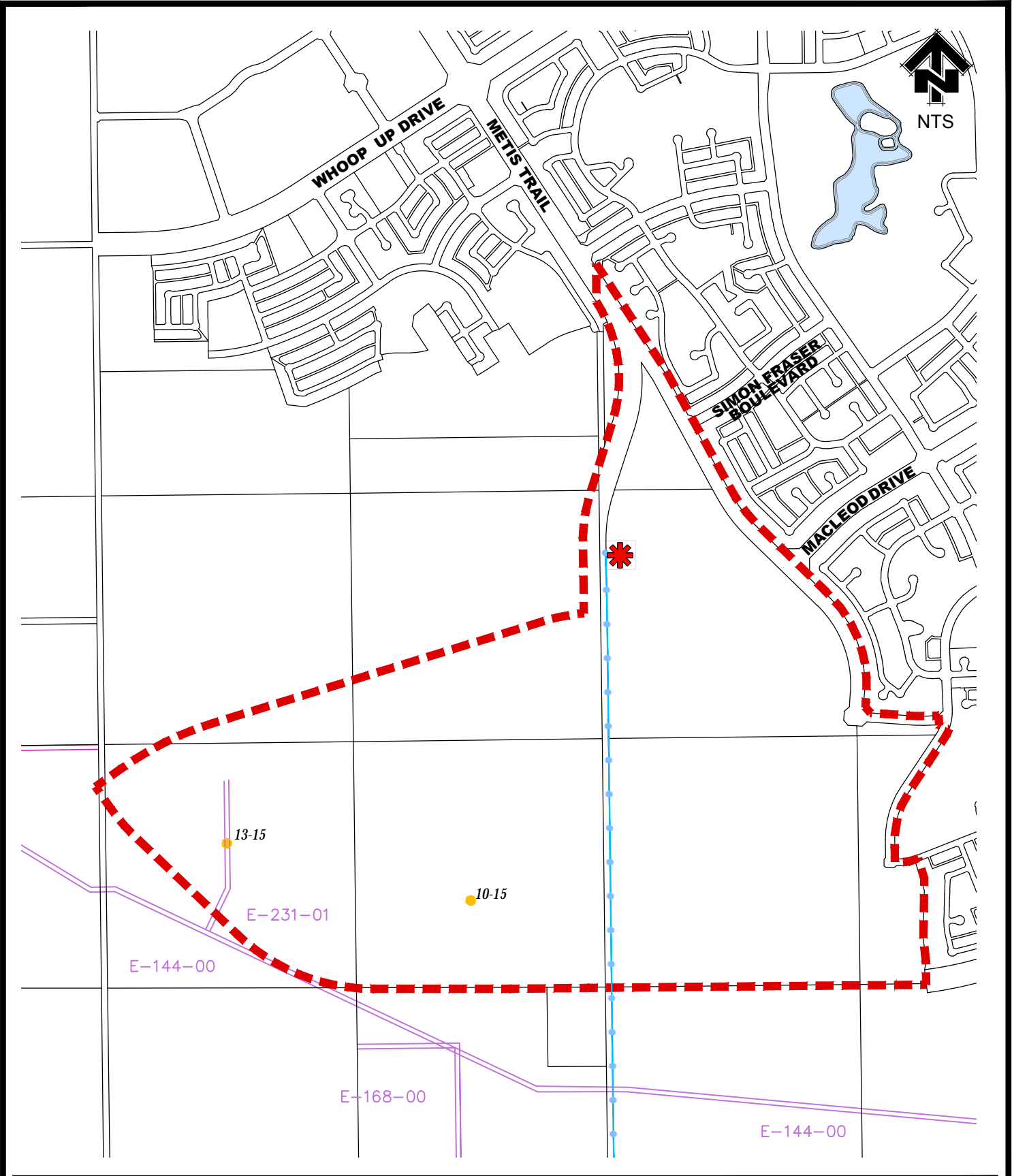
Legend

- - - Area Structure Plan Boundary
- Observed wetland locations (from Aerial Photo 2011)



**Figure** □  
**Natural Features Map**





Legend

-  Area Structure Plan Boundary
-  Electric Sub-station (existing)
-  Approximate underground pipeline location
-  Approximate well location
-  138kV Overhead Power Line / Poles



**Figure** □  
**Constraints**



## 2.2 EXISTING & APPROVED LAND USES

There is an existing electrical substation (674S – Bowron) which is located in the northern plan area. An overhead double-circuit 138 kV transmission line (725LE/725LW) extends south of the substation. The existing substation and transmission lines are part of a ring transmission system that connects to other substations in the area.

The City of Lethbridge Electric Utility has plans to relocate the substation and transmission lines out of the plan area sometime within the next 5 to 10 years as part of overall transmission system improvements defined in the Alberta Electric System Operator 20 year detailed plan.

The Alberta Utilities Commission (AUC) has ultimate authority on approving the placement of transmission facilities within the province of Alberta. The Lethbridge Electric Utility has engaged in integrated planning with the City's Planning Department to propose future locations of transmission facilities that are, in the opinion of the City of Lethbridge, placed to minimize the overall impact on area residents. The Lethbridge Electric Utility will propose future siting of transmission facilities to the AUC as a result of the integrated planning process.

The new proposed location of substation 674S Bowron will be within a public utilities lot adjacent to the Chinook Trail right-of-way at the intersection of Metis Trail. Interconnecting transmission lines will be located in the Chinook Trail right-of-way.

138 kV Distribution service needed for the Waterbridge area will be buried underground in appropriate right-of-ways, which are pre-planned into all standard transportation designs.

The surrounding land uses include agricultural lands to the south and west, and suburban residential developments to the north and east. Figure 4 illustrates the regional context. There is existing residential development to the northeast of the Plan Area and the SunRidge subdivision is continuing development along the east limits. To the northwest of the subject boundary is the neighbourhood of the Copperwood subdivision. These residential areas include various housing forms, though primarily low-density residential, a variety of open spaces and institutional uses. The commercial core of the Crossings subdivision has received land use approval from City Council and is located northwest of the Whoop-Up Drive and Metis Trail intersection. The Crossings subdivision is planned to provide residential, commercial, and institutional facilities for the west side of Lethbridge.

### Policies:

- 2.2.1 Electrical sub-station 674S – Bowron shall be relocated out of the Waterbridge Plan area, and shall be located within the Chinook Trail utility corridor, to allow for electrical system improvements within West Lethbridge.
- 2.2.2 Electrical distribution service required within the plan area shall be located underground within transportation right-of-ways. During early stages of development, it may be necessary to build electrical distribution overhead on a temporary basis until final grades become known.



# 3 PLANNING POLICY CONTEXT

## 3.1 CITY OF LETHBRIDGE INTEGRATED COMMUNITY SUSTAINABILITY PLAN / MUNICIPAL DEVELOPMENT PLAN

The *City of Lethbridge Integrated Community Sustainability Plan/Municipal Development Plan (ICSP/MDP)* provides a framework for Council and the community to address change over the next 40 years. The plan is based on a creative consensus surrounding the social, cultural, economic, built and natural environment and governance dimensions of sustainability. The Plan strategically addresses the community's immediate needs and develops long-term goals for guiding future development.

One of the key roles of the (ICSP/MDP) is to:

“Guide future policy regarding land use, transportation and infrastructure investment decisions within the community in a way that respects the Plan Your City Vision.”

The Plan Your City Vision Statement reads as follows:

“We will continue to work together to ensure that Lethbridge is a leader in environmental stewardship, innovation and active leadership. We are recognized as being safe, healthy, vibrant, prosperous, economically viable and a place where all people can fully participate in community life.”

The Plan Your City Policies include the provision of safe and accessible housing, minimizing the urban footprint by using land more efficiently, providing viable alternatives to the single occupancy automobile and improve active modes of transportation; provide a framework for orderly growth, create a built environment that reflects community values and aspirations and provide an integrated parks and open space system.

## 3.2 PARKS MASTER PLAN AND BIKEWAYS & PATHWAYS MASTER PLAN

The City of Lethbridge Parks Master Plan and Bikeways & Pathways Master Plan are planning documents that will guide City Administration, Council, developers, agencies and other stakeholders in decision making, design, implementation and management of a comprehensive multi-use parks system and trail system.

The two Master Plans are committed to:

1. Promoting public health and active living,
2. An integrated parks and bikeway/pathway system built in partnership with developers who have interests in building communities,
3. Attracting new residents and businesses to a city that is a desirable place to live, work and raise families,
4. Ongoing communication with residents and interest groups about park, bikeway and pathway development,
5. Support and enhance the City's natural environment, and
6. Reduce dependence on the automobile and provide viable transportation alternatives that are environmentally friendly and sustainable.

### 3.3 TRANSPORTATION MASTER PLAN

The existing Lethbridge Transportation Master Plan (TMP) was approved in 2013 and aligns with the Integrated Community Sustainability Plan / Municipal Development Plan. The purpose of the TMP is to provide a blueprint on which to plan and implement major transportation network upgrades over the long term growth of the City. In doing this it outlines which upgrades are recommended to be complete when Lethbridge reaches a city-wide population of 100,000, when Lethbridge reaches a population of 130,000 and when Lethbridge become fully developed within the current City boundaries.

Major transportation network upgrades are not required within Waterbridge at the 100,000 population horizon. It is expected that the development of Waterbridge will have just begun at this point and that any development can be accessed through the transportation network of existing adjacent subdivisions.

Based on the more detailed transportation analysis conducted as part of this ASP, Macleod Drive will be classified as a collector roadway due to the projected daily traffic volumes on this roadway.

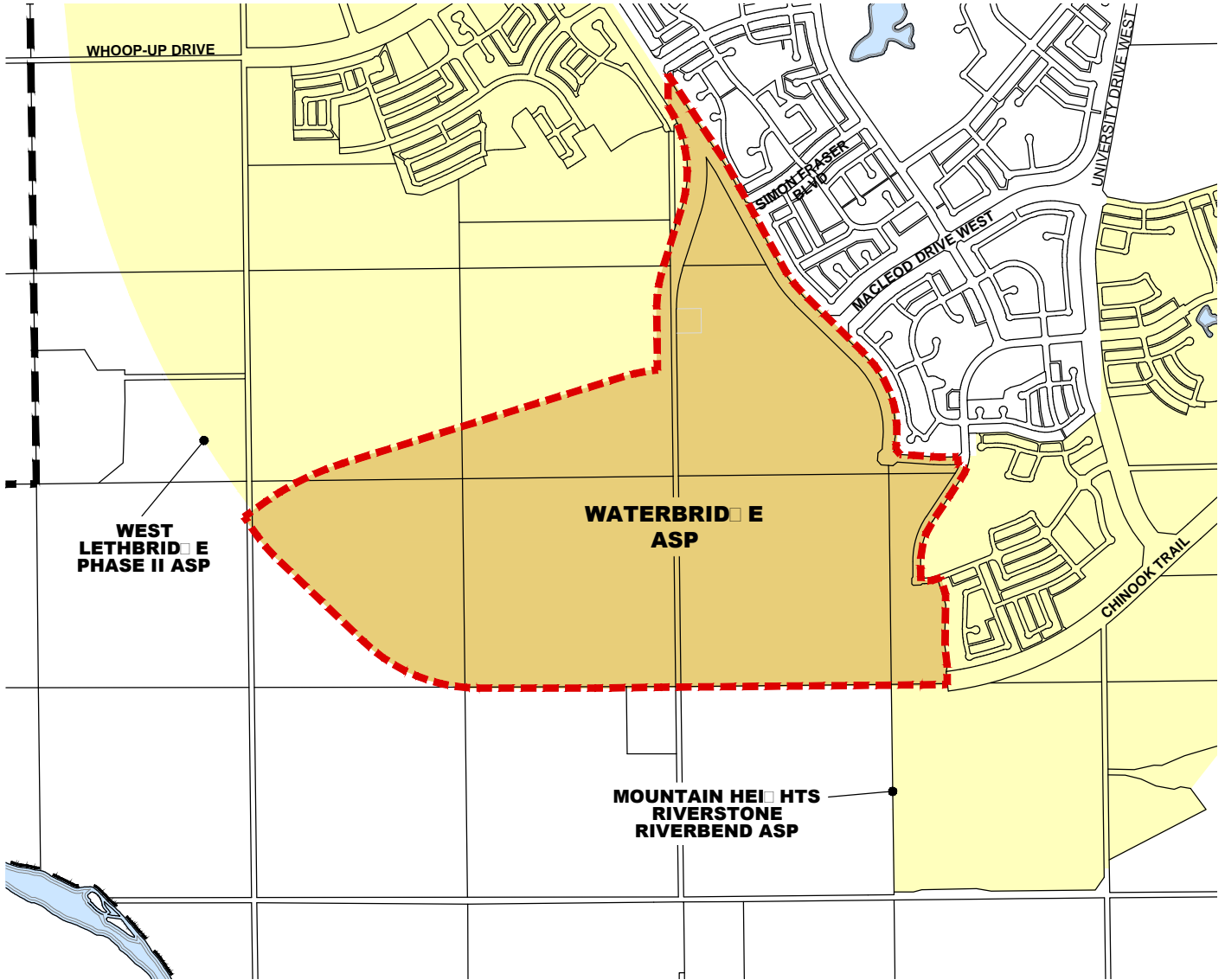
### 3.4 WEST LETHBRIDGE URBANIZATION PLAN

The *Urbanization of West Lethbridge* report from 1969 recommended that the West Lethbridge area develop as a series of villages, of approximately one square mile, comprised of a number of smaller neighbourhoods. The concept of a village includes a variety of housing types and related recreational, institutional and commercial uses. The villages should entail open space systems to connect residents with local commercial, institutional and recreational amenities as well as to provide convenient and safe walking and cycling routes to regional facilities.

The Waterbridge Area Structure Plan takes its lead from the Urbanization of West Lethbridge report by creating two distinct neighbourhoods, one west of Metis Trail and one east of Metis Trail. Each neighbourhood contains three (3) neighbourhood nodes, a comprehensive system of land uses which provide for a range of housing options, park nodes and pathway systems to connect residents to each other and allow easy walking or cycling access throughout the community.

### 3.5 SURROUNDING AREA STRUCTURE PLANS

Figure 8 indicates the Waterbridge Area Structure Plan with respect to the surrounding policy context, and is bound on the east by the Mountain Heights / Riverstone / Riverbend ASP and on the north by the West Lethbridge Phase II ASP.



Legend

- - - Area Structure Plan Boundary
- City Limits



Figure 1

Policy Context



# 4 VISION and PRINCIPLES

## 4.1 VISION FOR WATERBRIDGE

Waterbridge is a unique and desirable place to live within the City of Lethbridge. Waterbridge appeals to a diverse group of residents due to the: variety of housing choices, mix of uses and amenities, proximity to employment opportunities, quality public spaces, walkable design, and consideration of natural features. Waterbridge provides great connectivity by a variety of transportation modes to other subdivisions on the Westside of the City. All the elements of Waterbridge combine to create a place that is just that much different yet still complimentary to existing residential areas.

The subdivision design supports healthy, active lifestyles. An integrated open space system connects the various subdivision components. Neighbourhood nodes provide focal points; spaces for nearby residents to meet and interact, while contributing to the sense of place of Waterbridge.

The community's impact on the environment is considered upfront and integrated design practices benefit both the residents and the environment. Reflecting the natural environment and importance of natural resources, water is an important theme throughout Waterbridge. The progressive water management practices provide both efficient storm water management and enhanced public amenities and social spaces.

In Waterbridge the combination and integration of natural elements, people, public spaces, and amenities sets this subdivision apart and creates the fabric of a distinctive place to call home.

## 4.2 PLAN GOALS & OBJECTIVES

### Goal 1:

Provide for a variety of housing, neighbourhood amenities or services by incorporating a mix of land uses, including: residential, local commercial, recreational and institutional uses.

### Objectives:

- Provide neighbourhood commercial within the plan area.
- Create neighbourhood nodes which will be focused around a mix of land uses.
- Locate public buildings and other institutional uses within neighbourhood nodes.
- Provide a full spectrum of housing forms and provide starter, move-up and executive homes.
- At the Outline Plan stage, designate lots for secondary suite opportunities and strategically place them in areas of the subdivision which would be appropriate for concentrations of density.

**Goal 2:**

Make various transportation options convenient and efficient for residents, and encourage active transportation modes by enhancing the permeability and connectivity within the subdivision.

**Objectives:**

- Use a modified grid pattern for the subdivision design.
- Design that allows permeability and connectivity for pedestrians, cyclists, and vehicular traffic moving through the subdivision.
- Provide multiple access points to the arterial road network to eliminate congestion points, while still allowing for the progression of traffic.
- Work with City Transportation to determine suitable alternative arterial intersection spacing along Metis Trail, which is less than the current City Standard (detailed traffic analysis will be required).
- Locate higher density forms of housing in neighbourhood nodes to support transit and encourage people to walk to neighbourhood commercial.

**Goal 3:**

Provide a safe, convenient and diverse network of pathways and open spaces in the subdivision.

**Objectives:**

- Create a network of pathways that are connected to open spaces or destination points within the plan area such as the neighbourhood nodes.
- Use Municipal Reserve dedication to provide a mix of passive and active recreation opportunities that adhere to the standards of the Parks Department.
- Create open spaces which encourage community gathering.
- Promote health and active living.

**Goal 4:**

Incorporate natural environmental aspects of the stormwater management system into the open space plan.

**Objectives:**

- Preserve and enhance natural wetlands located within the plan area and incorporate them into the stormwater management system. At the Outline Plan Stage, further work will be undertaken to determine the classification of the wetlands.
- Work with Alberta Environment to ensure compliance with the Provincial Wetland Policy.

**Goal 5:**

Foster a sense of connectivity between subdivisions through the creation of spaces and places which promote social activities and interaction.

**Objectives:**

- Create linkages between neighbourhood nodes by building corridors along arterials or collectors where housing product can front or address the street (e.g. Window Street).
- Within neighbourhood nodes create activity areas such as squares or other public gathering areas.

# 5 LAND USE CONCEPT and POLICIES

## 5.1 LAND USE CONCEPT & RESIDENTIAL DENSITY

The land use concept for Waterbridge takes its lead from the spirit and intent and City-wide direction provided by the City of Lethbridge integrated Community Sustainability Plan/Municipal Development Plan. In particular, the Waterbridge ASP incorporates the ICSP / MDP through creating a land use framework which provides a mix of land uses, enhances the permeability and connectivity within the neighbourhood, provides a range of housing types, a network of pathways and open spaces, and neighbourhood activity nodes which promote social activities and interaction. The land use for Waterbridge is illustrated in Figure 9. The symbols and areas on the plan define the future land use pattern for the ASP Area. The Waterbridge ASP is anticipated to accommodate a population of approximately 8,800 people. This is based on the provision of a range of housing choices in the community, taking low, medium and high density forms. The anticipated residential units and population calculations are shown in Table 1.

One of the key components of the City of Lethbridge ICSP / MDP is to use land more efficiently and develop a more compact urban form. Increasing residential densities services houses on smaller lots, allows residents to live closer to work, schools and shops and enhances their ability to walk or bike to their destination. Table 1 shows that taking into consideration the various forms of residential uses contemplated, including neighbourhood nodes, a residential density of approximately 26 residential units per net hectare is possible and will result in a total population of approximately 8,800 people. To supplement this residential density, it is possible to designate strategically placed secondary suites throughout the subdivision, at the Outline Plan stage.

### Policies:

5.1.1 Secondary suite opportunities and their potential locations will be considered at the Outline Plan stage.

## 5.2 RESIDENTIAL

Waterbridge provides a choice of housing forms, including single-detached and multi-unit options. The residential area allows for a variety of dwelling forms to provide an overall density in the community that supports local commercial services and facilities. The strategic and effective location of multi-unit development ensures that concentrations of residents are in close proximity to community amenities, commercial services and public transit service. This is to leverage these amenities while fulfilling the residents' daily needs.

### Policies:

5.2.1 A variety of low and higher density residential forms shall be allowed in the Plan Area.

5.2.2 Locating higher density residential, commercial, institutional and /or recreational development will take into consideration transit stops according to Lethbridge Transit service levels.

Table 1 – Units & Population Calculations

Land Use Statistics Waterbridge Area Structure Plan						
Metric	Outline Plan Area 1 (ha)	Outline Plan Area 2 (ha)	Total (ha)	% of Gross Area		
<b>GROSS AREA</b>						
Arterial Roadways <sup>1</sup>	134.5	128.5	263.0	100.0%		
Gas Collection Pipeline R/W	19.5	18.5	38.0	14.4%		
	0	0.5	0.5	0.2%		
<b>GROSS DEVELOPABLE AREA</b>	115.0	109.5	224.5	100.0%		
<b>Public Land Use</b>						
Open Space - Parks and School						
Schools	5.5	4.0	9.5	4.2%		
Parks	8.0	9.0	17.0	7.6%		
<i>Open Space - Sub-Total<sup>2</sup></i>	13.5	13.0	26.5	11.8%		
Circulation (23% GDA)	26.5	25.0	51.5	23.0%		
Stormwater Management Facilities	8.0	6.5	14.5	6.5%		
Public Service Swing Sites <sup>3</sup>	3.0	0.0	3.0	1.3%		
<b>Public Land Use Total Area</b>	<b>51.0</b>	<b>44.5</b>	<b>95.5</b>	<b>42.5%</b>		
<b>NET DEVELOPABLE AREA</b>	64.0	65.0	129.0	57.5%		
Neighbourhood Commercial/Institutional	1.0	1.0	2.0	0.9%		
Low Density Residential	56.0	58.0	114.0	50.8%		
Medium/High Density Residential	7.0	6.0	13.0	5.8%		
<b>NET DEVELOPABLE AREA TOTAL</b>	<b>64.0</b>	<b>65.0</b>	<b>129.0</b>	<b>57.5%</b>		
<b>Residential Population and Unit Projections</b>						
Units per ha	Persons per Unit	Number of Units	Population	Number of Units	Population	
21	2.9	1176	3410	3532	6943	
75	1.9	525	998	450	855	
<b>Total Residential</b>		<b>1701</b>	<b>4408</b>	<b>1668</b>	<b>4387</b>	<b>8795</b>

Assumes average right-of-way width of 75 metres and that both communities contain the Arterial Roadways of Chirook Tr. and Miels Tr. This figure is approximate and subject to change.

<sup>1</sup>Open space is based upon a 10% dedication of GROSS AREA (i.e. with arterial roadways and pipeline right-of-ways included) for Municipal and School Reserve land.














<sup>2</sup>Two potential Public Service Swing Sites are shown in the ASP, however only one site will be selected at the Outline Plan stage. The intended use of this swing site is for a Fire and Emergency Services Facility and a recycling depot.

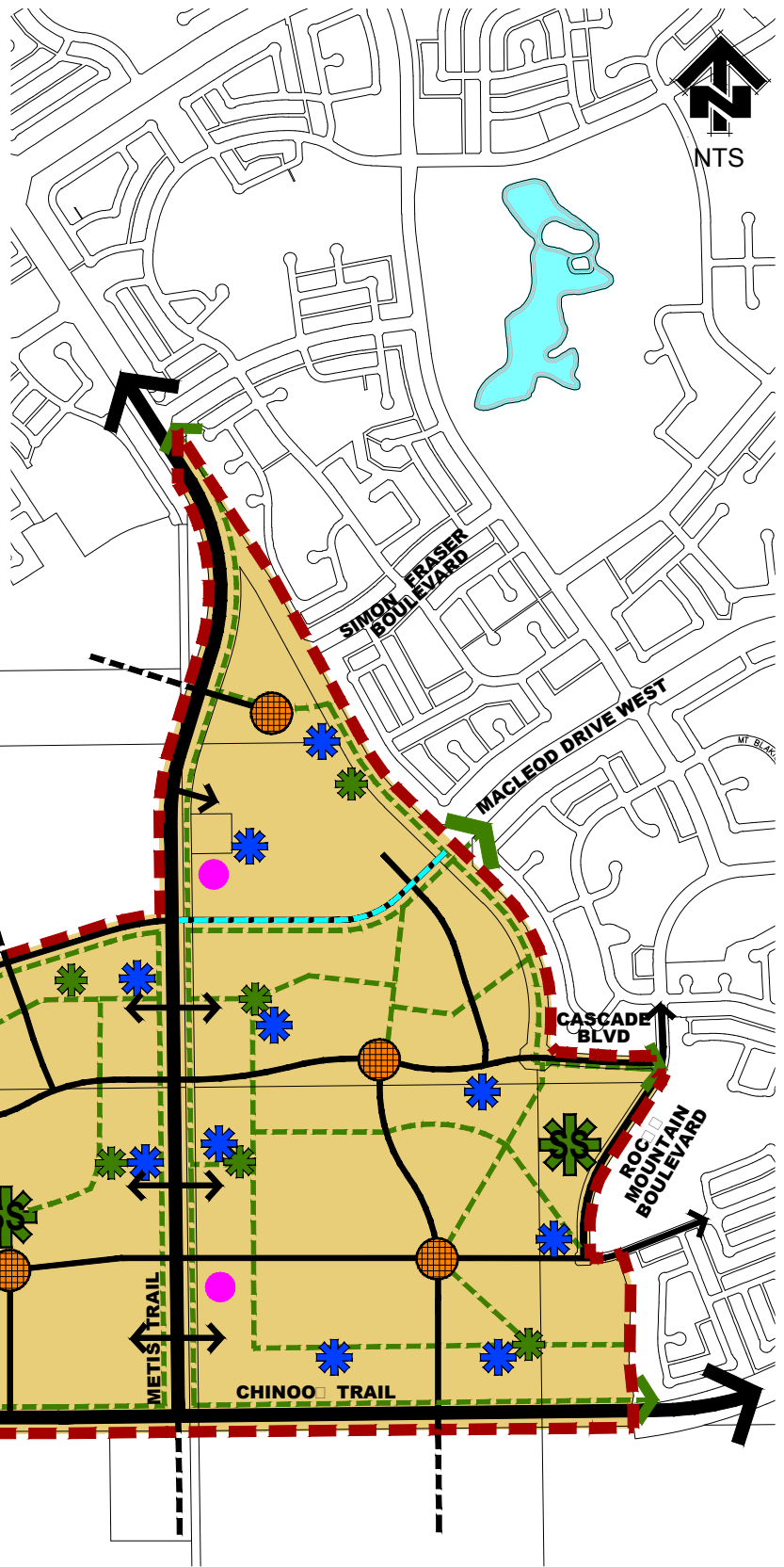
**Notes to Reader:**

\* Figures are approximate, are rounded to the nearest 0.5 hectare and are subject to change at the Outline Plan stage.



Legend

-  Residential
-  Park Node
-  School Site
-  Neighbourhood Node
-  Storm Water Facility
-  Swing Site
-  Pathway / Sidewalk System
-  Arterial Road System
-  Collector Road System
-  Window Street
-  Light in / Light out
-  Potential Future Access Point
-  Area Structure Plan Boundary



**Figure**   
**Land Use C**  **n**  **ep**

### 5.3 NEIGHBOURHOOD NODE

Neighbourhood nodes are local activity centres that are the cross-roads for a number of uses, including residential, recreational, institutional, commercial and transportation. Neighbourhood nodes function as local focal points and meeting places. The pedestrian and cycling connections are particularly important to these destinations in the community so that residents can frequent them by active transportation modes. Higher density residential development should locate at the neighbourhood nodes to take advantage of proximity to the mix of local amenities.

#### Policies:

- 5.3.1 Neighbourhood nodes shall include higher density residential land uses and at least one of the following uses:
- recreational
  - commercial
  - institutional / public buildings
- 5.3.2 Neighbourhood Nodes shall include or be in close proximity to a transit stop, where determined feasible by Lethbridge Transit.
- 5.3.3 Strong pedestrian and cycling connections shall be provided to and from each neighbourhood node and other focal points within the community.
- 5.3.4 Complementary and compatible residential, commercial, and institutional uses within mixed use developments are allowed at the neighbourhood nodes.

### 5.4 OPEN SPACE SYSTEM










Waterbridge will have an interconnected open space system consisting of parks and pathways, promoting both active and passive recreational activity in support of a healthy community. The open space system consists of local pathways that link focal points within the community, including the park nodes. The park nodes are open spaces that accommodate active and passive recreational activities. These open space components will comprise a variety of manicured and naturalized areas with consideration of controlling long-term maintenance costs. Storm ponds incorporated throughout the open space system and in park nodes ensure proper stormwater management while enhancing the passive recreational opportunities and amenity in the community. Figure 10 illustrates the parks and open space system.

#### Policies:

- 5.4.1 The open space system shall include 10% dedication for Municipal Reserve and School Reserve lands within the Plan Area. This may include: pocket parks, neighbourhood parks, community core parks, school grounds, linear parks, and special use parks.
- 5.4.2 The open space system shall provide a range of active and passive recreational opportunities.
- 5.4.3 Park nodes shall be distributed throughout the subdivision to ensure accessibility for residents. Residents shall have the opportunity to be within walking distance to one or more park nodes.

- 5.4.4 Park Nodes shall be designed to accommodate active and passive recreational activities that follow the classifications that are used by the Parks Department and meet the City of Lethbridge's Parks Design Standards. Further definition of each park will be provided at the Outline Plan Stage.
- 5.4.5 A park node may be integrated with a neighbourhood node site.
- 5.4.6 Natural areas, bioretention and stormwater facilities are encouraged to be designed into the open space system to enhance the quality of stormwater while offering passive recreational and educational amenity.
- 5.4.7 Natural wetlands shall be incorporated into the stormwater management system. At the Outline Plan Stage, further work shall be undertaken to determine the classification of the wetlands.
- 5.4.8 The City of Lethbridge shall provide a regional pathway along Chinook Trail, Metis Trail and Macleod Drive as per the Pathways Master Plan.
- 5.4.9 A combination of local pathways and sidewalks shall provide safe and comfortable access for pedestrians and cyclists to park nodes and neighbourhood nodes as well as connections out of the subdivision.

Legend

-  Par Node
-  School Site
-  Pathway Sidewalk System
-  Arterial Road System
-  Collector Road System
-  Window Street
-  Light in Light out
-  Potential Future Access Point
-  Area Structure Plan Boundary

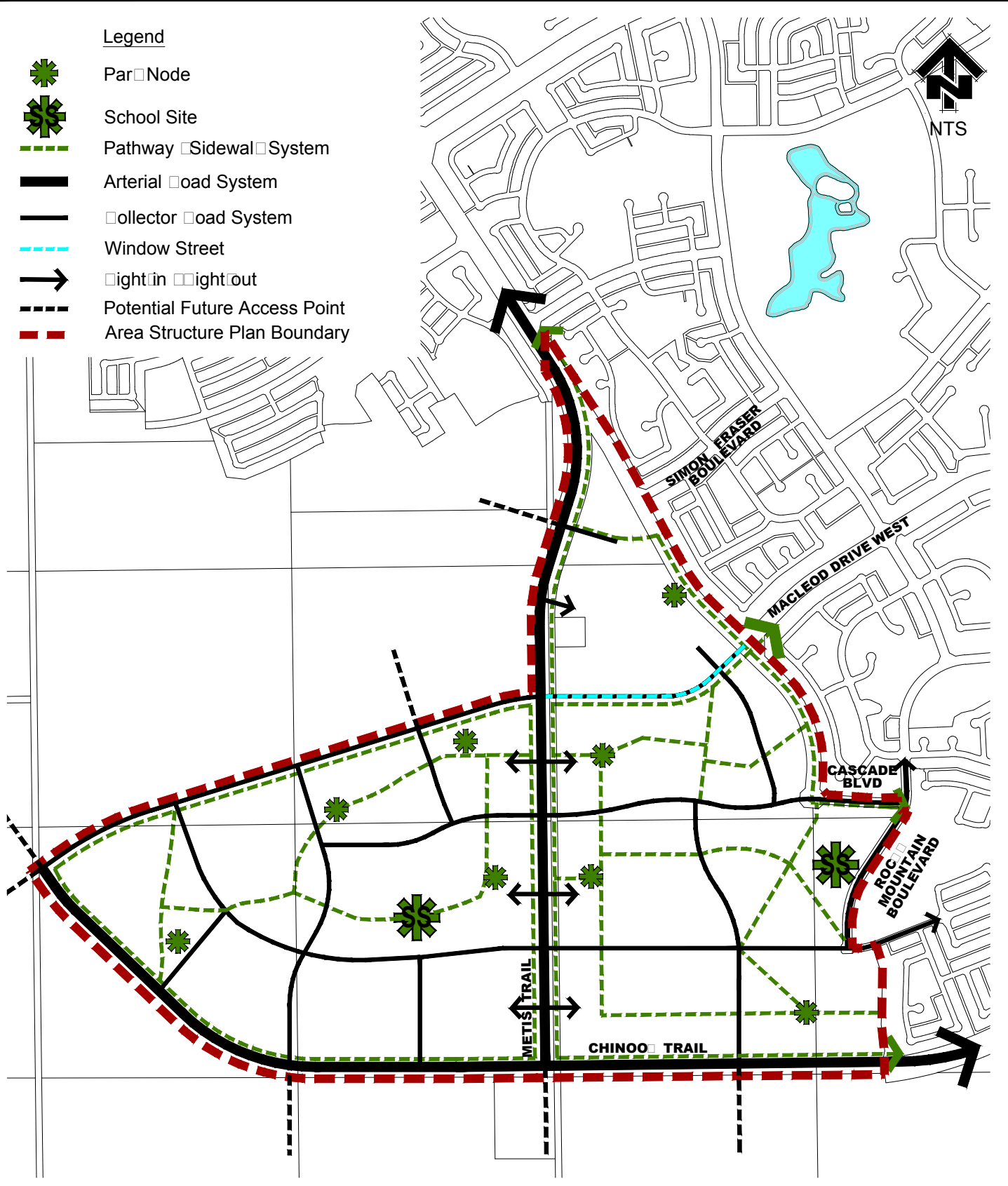


Figure 11

Schools, Par Nodes and Open Space

## 5.5 SCHOOLS

Two School Sites will be provided for in Waterbridge, a middle school shall be located near Rocky Mountain Boulevard across from SunRidge Park, in Outline Plan Area 1 and an elementary school shall be located to the west of Metis Trail, in Outline Plan Area 2 and. It is expected that the middle school will be one of the first developments in Waterbridge.

### Policies:

- 5.5.1 Waterbridge shall contain a middle school being located near Rocky Mountain Boulevard across from SunRidge Park, in Outline Plan Area 1 and an elementary school shall be located west of Metis Trail and.
- 5.5.2 The school sites shall be bound by a collector road on at least one side.
- 5.5.3 Further details for each school site will be determined at the Outline Plan stage in conjunction with the appropriate school district.

## 5.6 SWING SITES

Two options for public use swing site(s) are located in Waterbridge; intended for a Fire and Emergency Services facility and/or for a recycling depot. They are identified in this plan as swing sites because it is not known at this time which swing site will contain which use. This will be determined at the Outline Plan stage in accordance with the Fire Department Master Plan. The exact location of these two swing sites will also be determined at the Outline Plan stage.

### Policies:

- 5.6.1 The public use swing site(s) shall contain a Fire and Emergency Services facility and/or shall contain a recycling depot. This will be determined at the Outline Plan stage.

## 5.7 EMERGENCY SERVICES

In discussions with the City of Lethbridge staff it has been determined that a Fire and Emergency Services facility site is required in the Plan Area. The facility may be located at one of the swing sites and should have quick access to Metis Trail.

### Policies:

- 5.6.1 The exact location, size and layout of the Fire and Emergency Services site will be determined at the Outline Plan level and in accordance with the Fire Department Master Plan.

# 6 TRANSPORTATION

A Traffic Impact Assessment for the Waterbridge ASP area provides analysis of the proposed regional road network. The report confirms a network that is functional, safe and efficient. The ASP determines the alignment of the access points to the regional roads and the internal road network. Figure 11 illustrates the transportation system for Waterbridge.

## 6.1 REGIONAL ROAD NETWORK

The Plan Area is bound by future arterial and collector roads.

### Policies:

- 6.1.1 The number of access points from the surrounding road network to the Plan Area shall be maximized to enhance connectivity and permeability of the neighbourhoods, where feasible.

## 6.2 INTERNAL ROAD NETWORK

The internal road network is a modified grid pattern. This road pattern promotes the establishment of shorter blocks and enhances the connectivity and permeability of the community for pedestrian, cyclist and vehicular traffic. It disperses traffic over a greater number of roads within the community.

The internal road network ensures connections with the existing development to the east. Macleod Drive is aligned through the Plan Area from east-west. The existing right-of-way for Cascade Boulevard is incorporated into the internal road network and provides a connection point along Rocky Mountain Boulevard. An intersection at the south end of Rocky Mountain Boulevard provides access into the developing neighbourhood of SunRidge.

### Policies:

- 6.2.1 The internal road network shall connect to existing roads to the east.
- 6.2.2 The internal collector road network shall be designed as a modified grid pattern.

## 6.3 PEDESTRIAN & BICYCLE CIRCULATION

Active transportation modes are supported in Waterbridge through a comprehensive linked pathway and sidewalk system. The pathway and street networks converge at neighbourhood nodes and link the park nodes. The pathway and sidewalk system will ensure direct and efficient access to local amenities for residents by walking or cycling.

### Policies:

- 6.3.1 A regional pathway will be located along Metis Trail, Chinook Trail and Macleod Drive within the Plan Area by the City of Lethbridge as per the Bikeways and Pathways Master Plan.
- 6.3.2 A combination of local pathways and sidewalks within the residential area will provide access to neighbourhood nodes and park nodes within the residential development.

## 6.4 TRANSIT SERVICE

The transit route in Waterbridge will follow the arterial and collector road network providing an efficient and convenient service. The modified grid road pattern offers direct and convenient access for residents to transit routes. The transit route will be designed to ensure residents are within walking distance to a bus stop as per the City of Lethbridge Transit Service Standards. Bus stops at neighbourhood nodes are an important aspect of creating multi-use, public activity centres at these locations.

### Policies:

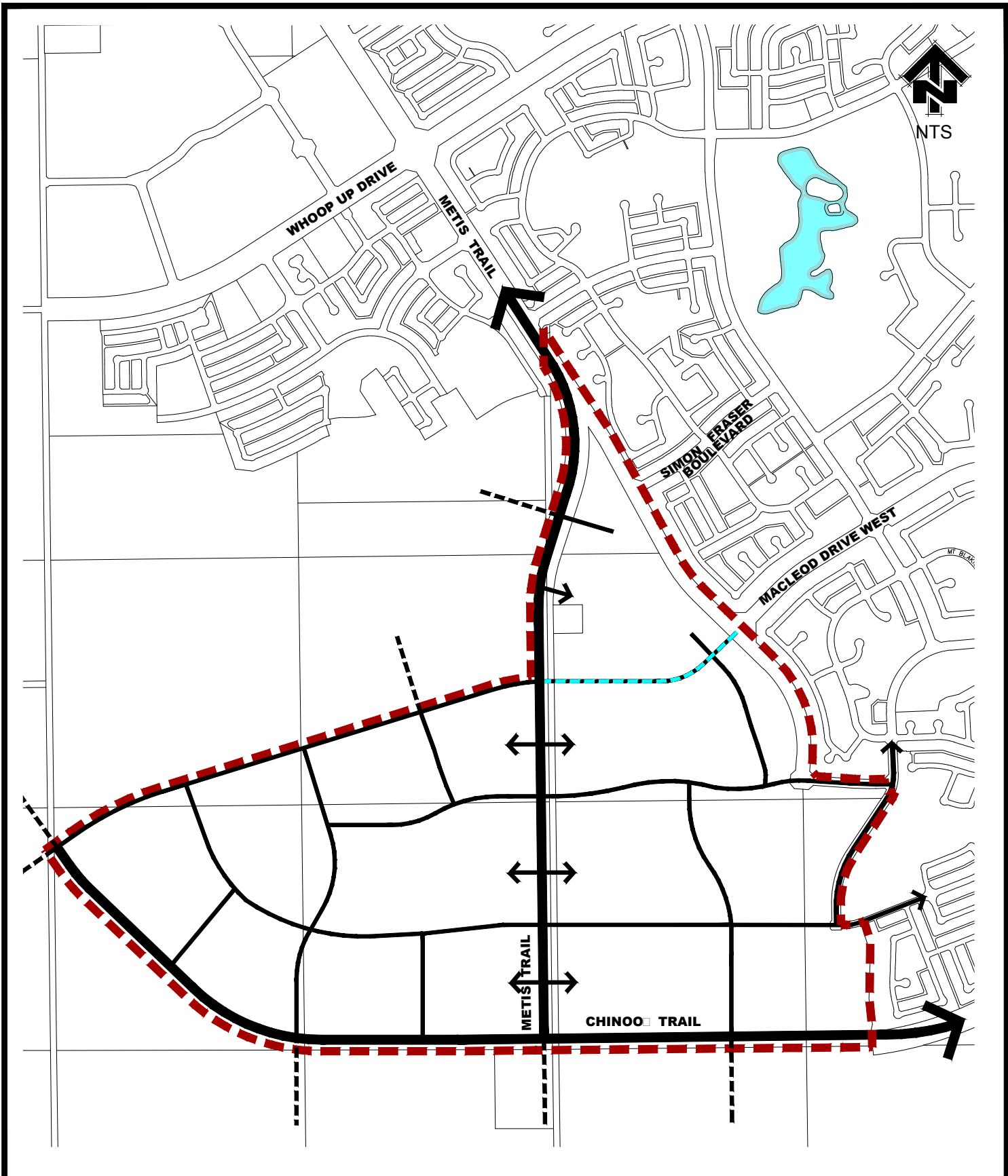
- 6.4.1 Transit Service Standards will be utilized at the subdivision design stage.
- 6.4.2 A bus stop(s) shall be located at, or in close to proximity to each neighbourhood node, where determined feasible by Lethbridge Transit.

## 6.5 WINDOW STREET




As shown on Figure 11, as Macleod Drive extends through the eastern portion of Waterbridge, it becomes a window street. The purpose of a window street is to provide an alternative means of access through the neighbourhoods by providing a service road for vehicles and pedestrians. It provides a window into the neighbourhoods and also provides a buffer between the main road and the residential area.




### Policies:

- 6.5.1 Macleod Drive, in the eastern portion of Waterbridge, will function as a window street. Details of the window street design will be determined at the Outline Plan Stage.



**Legend**

-  Area Structure Plan Boundary
-  Arterial Road System
-  Collector Road System

-  Window Street
-  Right-in Right-out
-  Potential Future Access Point



**Figure** □□

**Transparency in New Road Construction**





# 7 DEEP UTILITY SERVICING

## 7.1 STORMWATER SERVICING

This section highlights the basic principles of the stormwater management plan and preliminary storage volumes required for the stormwater management facilities for the Waterbridge Area Structure Plan (ASP).

The stormwater management system will use a dual drainage concept consisting of storm sewers to transport runoff from minor rainfall events and a major system to convey runoff from the extreme rainfall events. Stormwater management facilities will be utilized to control the discharges from the development area and to enhance the stormwater quality. The stormwater management plan for the Waterbridge ASP will not overload the existing stormwater management systems during rainfall events.





There is a swale located along the Chinook Trail right of way, coming from the east and terminating at the south-east corner of the plan area. Drainage from this swale will need to be considered in future planning stages.

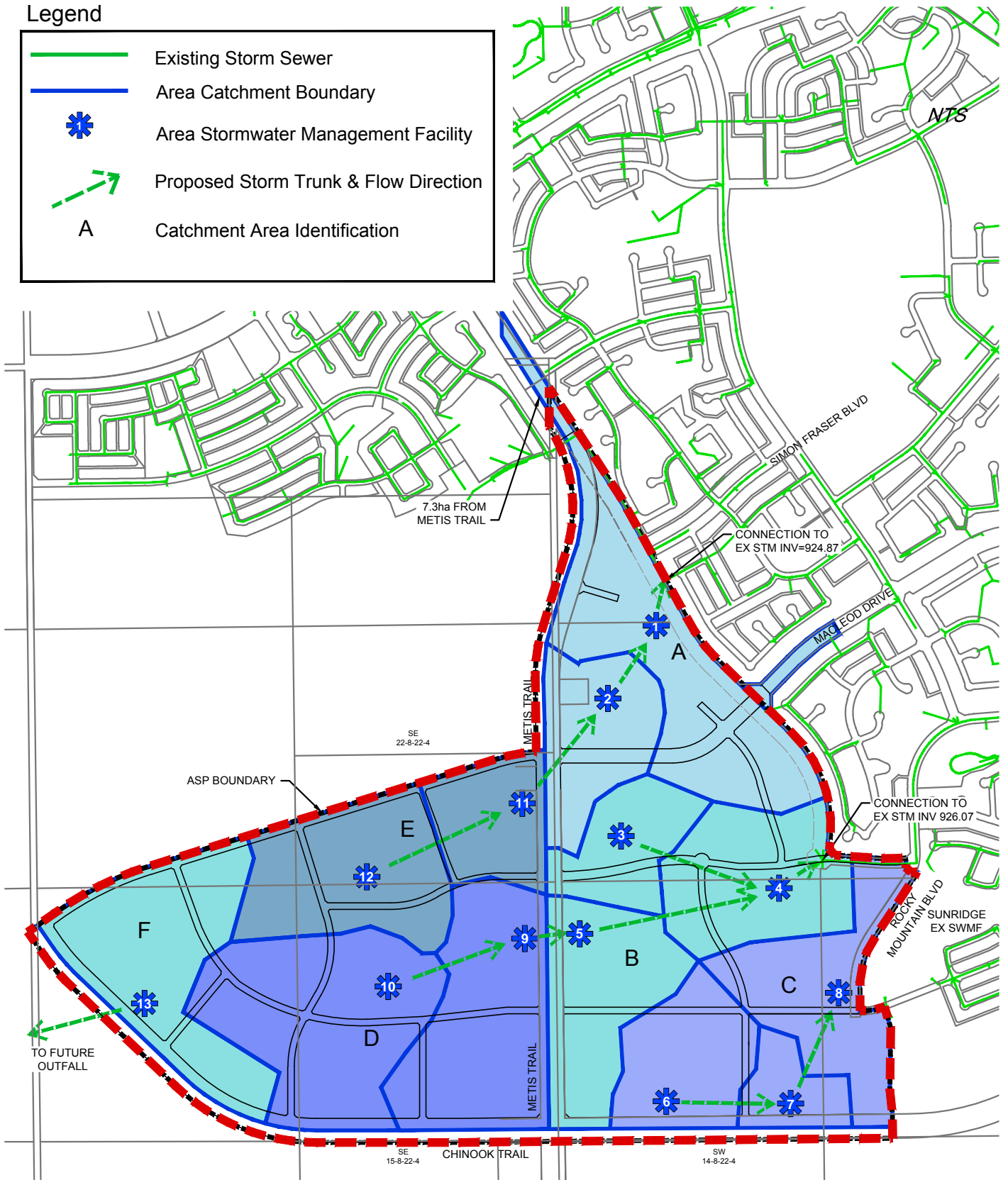
Stormwater servicing for Waterbridge is illustrated on Figure 12.

### Policies:

- 7.1.1 The stormwater management system for Waterbridge shall be designed to adequately and efficiently serve the ultimate development of the area.
- 7.1.2 Best Management Practices shall be implemented to retain runoff on site, control runoff discharges and reduce pollutants to meet Provincial requirements.
- 7.1.3 On-site storm ponds shall be incorporated to control stormwater discharges. These facilities will provide storage for potential stormwater reuse and to facilitate removal of sediments and other pollutants.
- 7.1.4 Drainage from the swale that will be located adjacent to Chinook Trail shall be accommodated in the south-east corner of Waterbridge. This shall be considered in the Outline Plan for Outline Plan Area 2 and the detailed design of this area.
- 7.1.5 Alberta Environment Protection Stormwater Management Guidelines shall be followed.

Legend

	Existing Storm Sewer
	Area Catchment Boundary
	Area Stormwater Management Facility
	Proposed Storm Trunk & Flow Direction
<b>A</b>	Catchment Area Identification



Note: There is a swale along the Chinook Trail ROW coming from the east and terminating at the SE corner of the plan area. Drainage from this swale will need to be accommodated in the outline plan for Outline Plan Area 1 and the detailed design of the southeast phases of Waterbridge.



**Figure 2**  
**Stormwater Servicing**

## 7.2 WATER SERVICING

The City of Lethbridge water distribution system is divided into two pressure zones. West Lethbridge comprises one zone. The City of Lethbridge water treatment plant (WTP) is located on the east bank of the Oldman River. One set of high-lift pumps at the WTP deliver water through a dedicated fill line to the West Lethbridge Reservoir, which then pumps water into West Lethbridge Zone. The existing West Lethbridge Reservoir provides a total storage capacity of 21,550 m<sup>3</sup>.




A second West Lethbridge reservoir located adjacent to Garry Drive has recently been constructed. The second reservoir will provide additional emergency storage and pumping capacity for West Lethbridge.

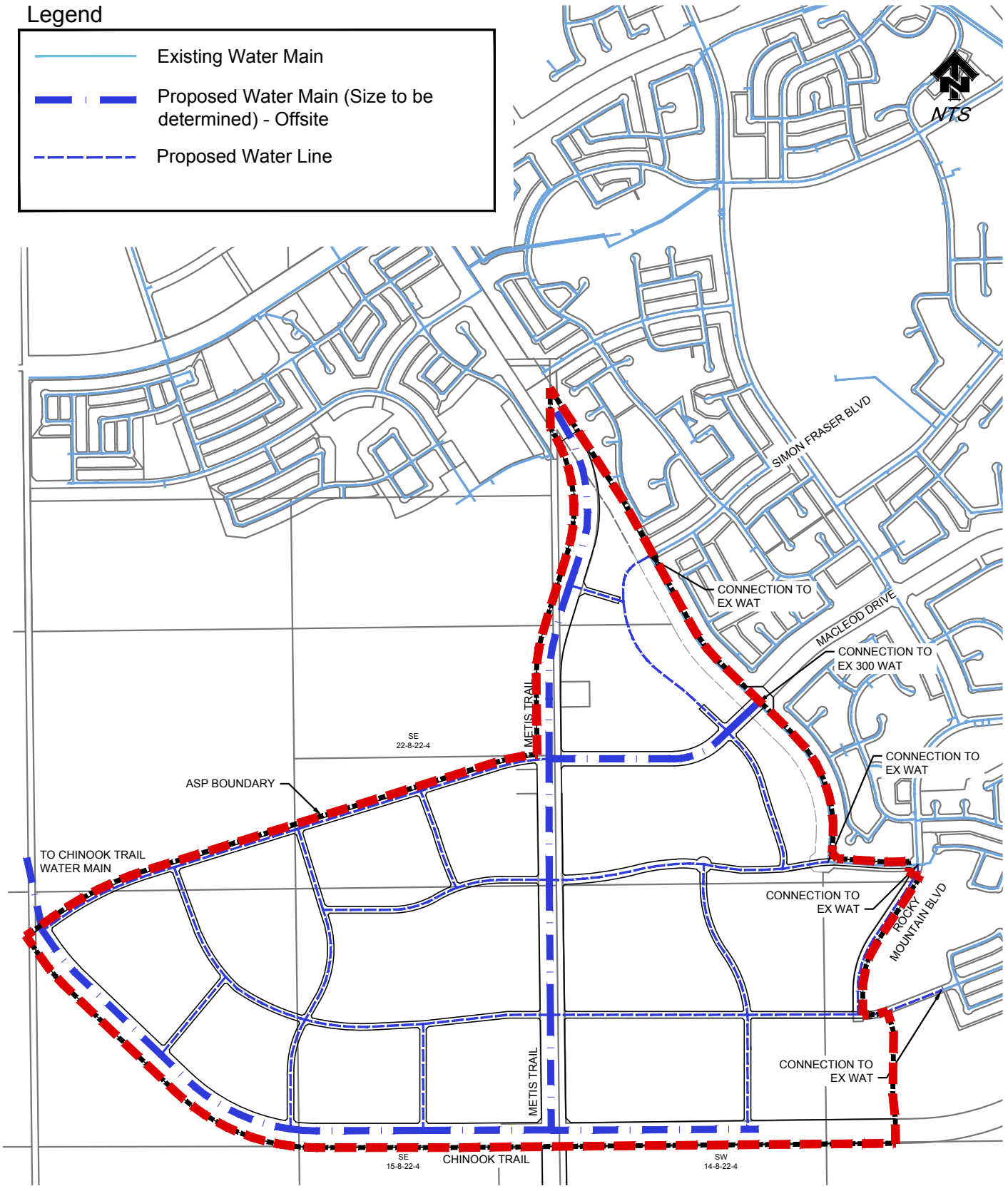
Although the easterly portions of the ASP area can be serviced by the existing distribution system, a distribution trunk along Metis Trail will be required to service ultimate development. An additional loop will be included along the Chinook Trail right of way. Water Servicing for Waterbridge is illustrated in Figure 13.

### Policies:

- 7.2.1 The water distribution system for Waterbridge shall be designed adequately and efficiently to service the ultimate development of the area.
- 7.2.2 The design of the water distribution system shall ensure that all land has sufficient looping and connections to provide for adequate domestic and fire flows.
- 7.2.3 The water distribution system shall be designed in accordance with the most recent standards and specifications of the City of Lethbridge and Alberta Environment.

Legend

	Existing Water Main
	Proposed Water Main (Size to be determined) - Offsite
	Proposed Water Line



**Figure**    
**Water Ser**   **ing**

### 7.3 SANITARY SEWER SERVICING

West Lethbridge is presently serviced by two sanitary sewer siphon crossings of the Oldman River. Construction of a sanitary sewer trunk along Metis Trail is required to accommodate sanitary flows for the majority of the area east of Metis Trail. However sanitary flows from the initial development within this area can be accommodated through the existing sanitary sewer system in the developed neighbourhoods to the east of Waterbridge. The future Outline Plan for the area east of Metis Trail will determine what portion of this area can be accommodated through the existing sanitary sewer system to the east and what portion must be accommodated through the future sanitary sewer trunk in Metis Trail.






Construction of a sanitary sewer trunk along the future Chinook Trail is required to accommodate sanitary flows from the western portion of the ASP area. There is currently no design for the Chinook Trail sanitary trunk sewer and the end invert and location have not been determined.

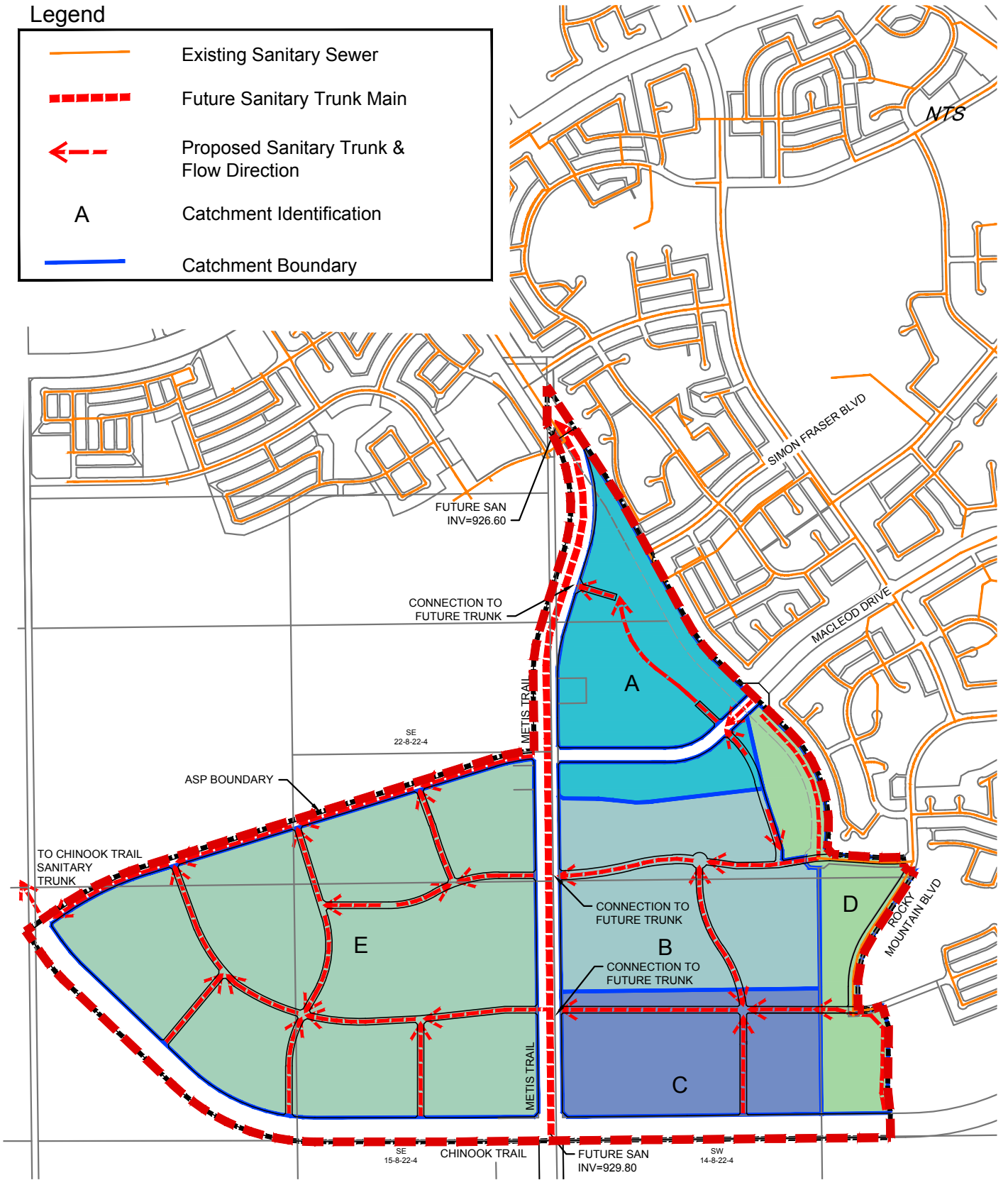
Based on the inverts supplied by the City of Lethbridge for the trunks and the elevation of the existing ground water in the Waterbridge ASP area, the subdivision may be serviced by gravity servicing. Sanitary sewer servicing for Waterbridge is illustrated on Figure 14.

#### Policies:

- 7.3.1 The future sanitary sewer trunk to be located in Metis Trail will need to be constructed prior to development of the majority of the area east of Metis Trail.
- 7.3.2 Initial Development in a portion of the area east of Metis Trail may commence prior to completion of the sanitary sewer trunk in Metis Trail. The extent of this initial development shall be based upon the ability to service this development through the existing sanitary sewer system east of Waterbridge.
- 7.3.3 The Outline Plan for the area east of Metis Trail shall determine which portion of this area can connect to the existing sanitary sewer system east of Waterbridge and which portion must connect to the future sanitary sewer trunk in Metis Trail, when this sewer trunk is constructed.
- 7.3.4 The portion of Waterbridge located to the west of Metis Trail will be serviced by a future sanitary sewer trunk located in Chinook Trail. This trunk will need to be constructed prior to development commencing in the portion of Waterbridge west of Metis Trail.
- 7.3.5 The sanitary sewer system for Waterbridge shall be designed to adequately and efficiently serve the ultimate development of the area.
- 7.3.6 The sanitary sewer system shall be designed in accordance with the most recent standards and specifications of the City of Lethbridge and Alberta Environment.

Legend

	Existing Sanitary Sewer
	Future Sanitary Trunk Main
	Proposed Sanitary Trunk & Flow Direction
	Catchment Identification
	Catchment Boundary



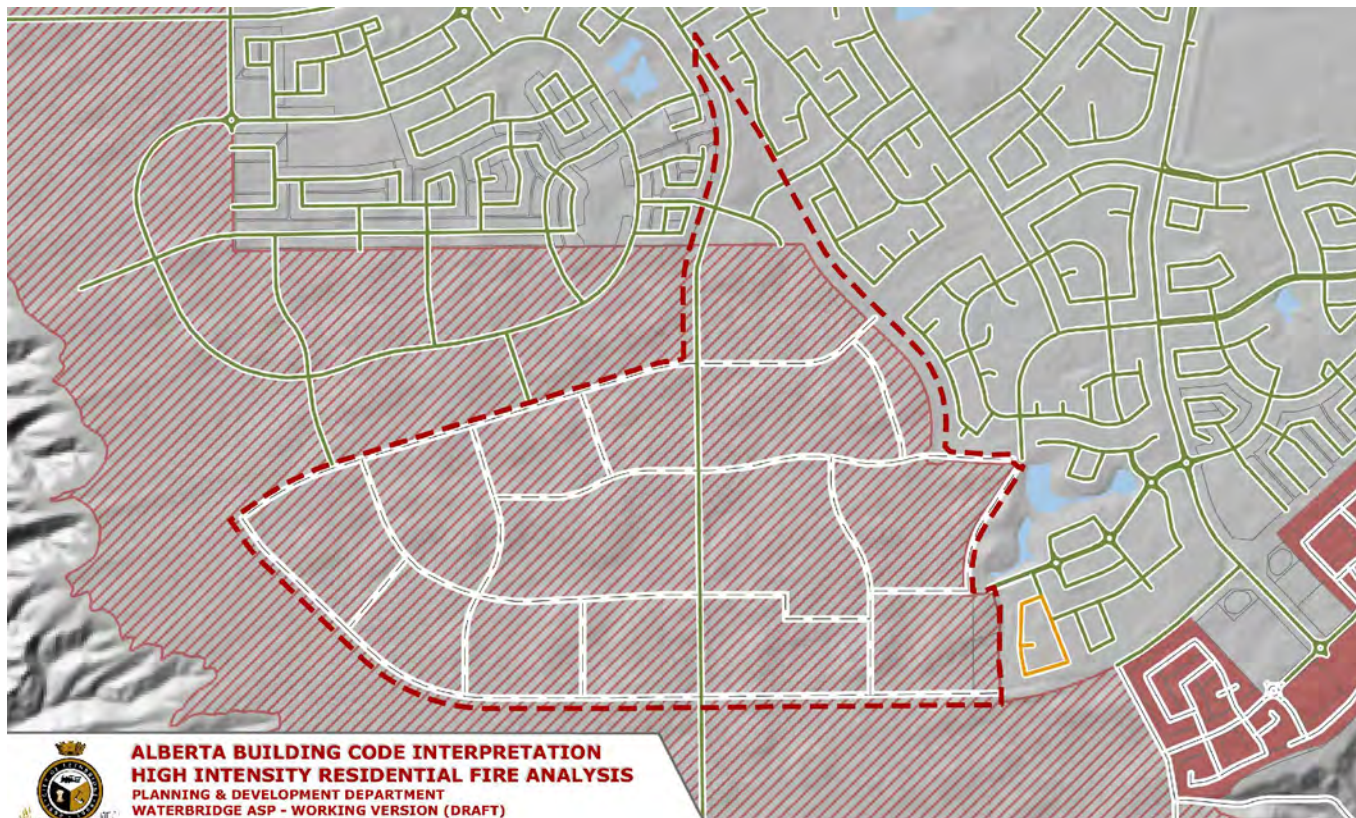
**Figure**        
**Sanitary Sewer Servicing**

## 7.4 FIRE RESPONSE

Fire protection is a critical component of the City of Lethbridge's priority on public safety. New community designs must accommodate appropriate access and safe emergency vehicle passage. Figure 15 illustrates Fire Response Modeling for Waterbridge.

### Policies:

- 7.4.1 The City of Lethbridge shall complete Emergency Response Time Modeling prior to Outline Plan approval.



**ALBERTA BUILDING CODE INTERPRETATION  
HIGH INTENSITY RESIDENTIAL FIRE ANALYSIS**  
PLANNING & DEVELOPMENT DEPARTMENT  
WATERBRIDGE ASP - WORKING VERSION (DRAFT)

**Legend**

-  Fire Station
-  7 Minute Drive Time
-  Road Segment Not Covered Within Response Time (HIRF Exempt)
-  Road Segment Not Covered Within Response Time
-  Area Structure Plan Boundary
-  Areas Subject to HIRF Requirements
-  Areas May Be Subject to HIRF Requirements (TBD)
-  City Boundary
-  Lake or River




Printed June 8, 2012  
© 2012, City of Lethbridge, AB

Disclaimer:

High Intensity Residential Fire Requirements will be reviewed at the Outline Plan stage.

Legend

-  Area Structure Plan Boundary



**Figure** □□  
**Fire Response Modeling**



# 8 IMPLEMENTATION

## 8.1 DEVELOPMENT PHASING

Development of the Waterbridge ASP Area will follow the logical and economic extension of roadways and utility servicing. Figure 16 illustrates two (2) future Outline Plan Areas for Waterbridge. The extension of arterial roads and major utility services will come from both the north and the east, as specified in the policies found below.

### Policies:

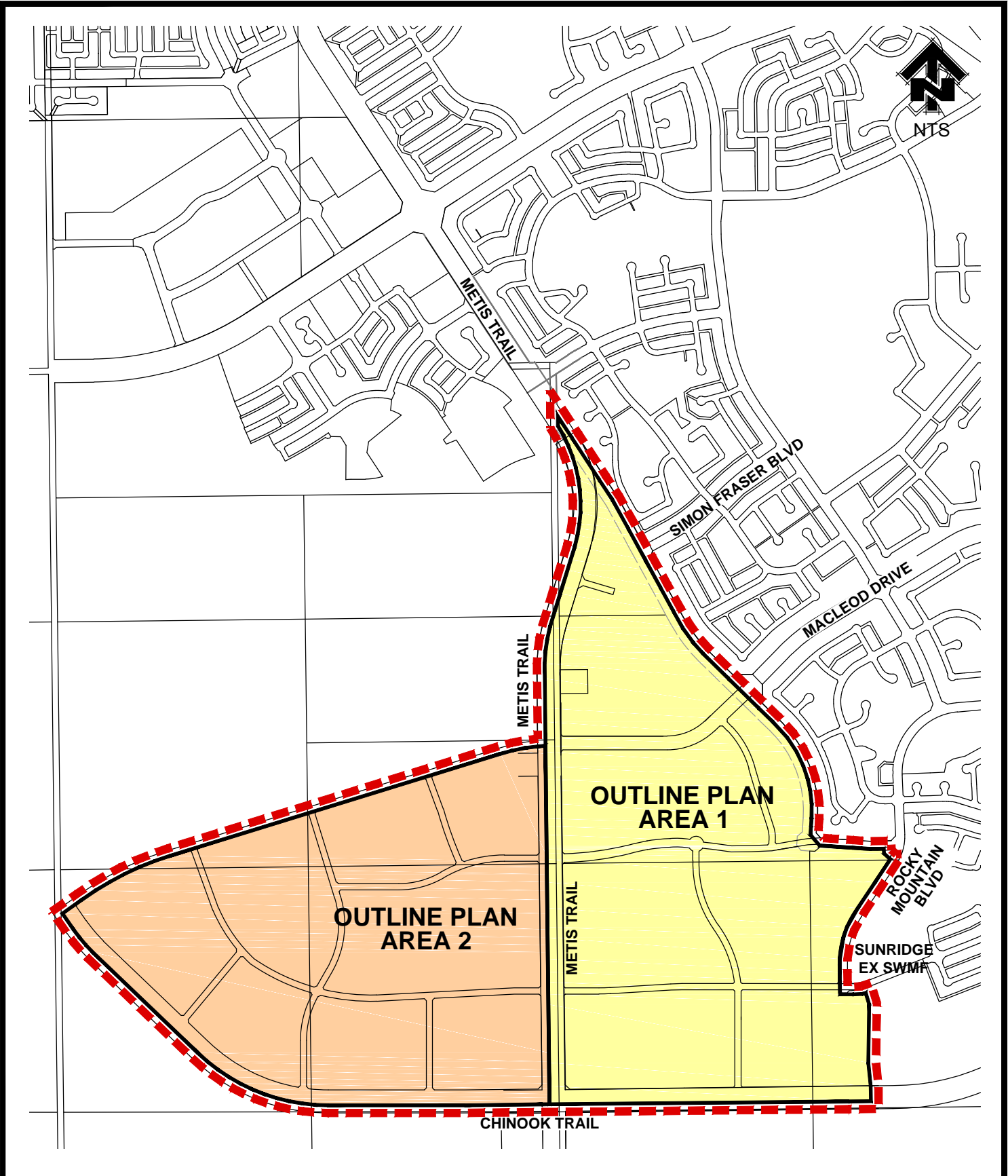
- 8.1.1 Initial development in Outline Plan Area 1 may begin as an extension of the existing development in Mountain Heights and SunRidge to the east, utilizing the infrastructure that is available in these areas. However, the majority of Outline Plan Area 1 shall require arterial roads and major water and sanitary trunks to be extended from the Metis Trail alignment to the north. The Outline Plan that is completed for Outline Plan Area 1 shall identify which portion of this area can be developed and which portion cannot be developed prior to the availability of major infrastructure in Metis Trail.
- 8.1.2 The extension of major water and sanitary trunks will continue southward along the Metis Trail Alignment as adjacent development proceeds in Outline Plan Areas 1 & 2.
- 8.1.3 Initial development in Outline Plan Areas 1 & 2 shall require storm water servicing to be extended from the existing development to the east of Waterbridge.
- 8.1.4 Macleod Drive shall be completed from McMaster Boulevard to Metis Trail as development proceeds south of the alignment of Macleod Drive through Outline Plan Area 1.
- 8.1.5 Within Waterbridge, development will first begin in the area identified as Outline Plan Area 1 and then proceed west to Outline Plan Area 2.
- 8.1.6 The development of Outline Plan Area 2 cannot begin until the following conditions are satisfied:
  - The development of the south village of West Lethbridge Phase 2 is substantially completed to Macleod Trail.
  - Sanitary service connections are available to Outline Plan Area 2 from the south village identified in the West Lethbridge Phase 2 Area Structure Plan that is located to the north of Outline Plan Area 2.
  - The storm system in Outline Plan Area 1 has been extended to Metis Trail, thereby allowing the connection of storm facility #11 (see Figure 12).
  - Metis Trail and Macleod Drive are both completed to the location where these two roadways intersect.

## 8.2 APPROVAL PROCESS

Future development of the ASP Area requires the preparation of Outline Plans for more detailed planning of the location of land uses and the local road network prior to subdivision. Outline Plans ensure the suitable distribution of residential, open space, institutional, commercial uses, etc. These more detailed plans will also provide more specific phasing and servicing information.

### Policies:

- 8.2.1 Under the direction of this ASP, Outline Plans shall be undertaken for the Outline Plan Areas that have been identified in the Area Structure Plan by interested developers or landowners to provide more comprehensive planning, prior to subdivision and permanent development.



Legend

- Area Structure Plan Boundary



**Figure**    
**Future Outline Plan Areas**

# A Appendix A – Terms of Reference





## City of Lethbridge: Real Estate and Land Development Waterbridge and Extension Area Structure Plan Terms of Reference

---

### Background

In compliance with the new Municipal Development Plan (Bylaw #5650), Planning and Development Services has requested that Real Estate and Land Development prepare an Area Structure Plan (ASP) prior to the subsequent subdivision and development of approximately 709.5 acres of land located within West Lethbridge. The lands to be contained within the ASP would include lands within the following quarter sections: NW 15-08-22-W4M, NE 15-08-22-W4M, SW 22-08-22-W4M, SE 22-08-22-W4M, NW 14-08-22-W4M, NE 14-08-22-W4M, NW 23-08-22-W4M, SE 23-08-22-W4M and SW 23-08-22-W4M (see Figure 1 for Plan boundaries).

### Purpose

The Waterbridge and Extension ASP will set a policy and technical framework for more detailed planning that will take place in future outline plans, subdivision applications and eventually development permits.

### Policy Context

This ASP shall be prepared in accordance with the provisions stipulated in Section 633 of the *Municipal Government Act*. The requirements of the act are as follows:

- the sequence of development proposed for the area;
- the land uses proposed for an area, either generally or with respect to specific parts of the area;
- the density of population proposed for an area either generally or with respect to specific parts of the area;
- the general location of major transportation routes and public utilities; and
- any other matters Council considers necessary.

The City of Lethbridge Integrated Community Sustainability Plan/Municipal Development Plan (ICSP/MDP) will also play an integral role in guiding the policy development of this Plan. The ICSP/MDP is a holistic document and will guide policy development with regards to land use, infrastructure, transportation network, parks and open space, as well as community design. Specific reference to this Plan will be required as part of this ASP.

Other important Policy documents that will need to inform the policy development of the Plan are listed below:

- West Lethbridge Urbanization Plan: This report from 1969 has established the growth and development pattern for the entire West Lethbridge area.
- Neighbouring ASP's such as West Lethbridge Phase II and Mountain Heights, Sunrise Estates, River Bend will need to be examined to ensure that any interface issues are dealt with in an appropriate manner. The proposed plan area illustrated in the next section of the document has overlapping plan boundaries with the aforementioned plans. Within the proposed ASP there must be policy which addresses the amendment to both of these adjacent ASP's boundaries.
- The 2004 Transportation Master Plan (2010 Transportation Master Plan ongoing)
- Parks Master Plan
- Bikeways and Pathways Master Plan

## **Development Area**

Over the last few months Planning and Development Services has been re-evaluating the logical boundaries for ASP's in Lethbridge. As part of this exercise it was decided that approximately 378.5 acres of land should be included into the Waterbridge ASP which is currently in progress. These lands were in between the southern boundary of the West Lethbridge Phase II ASP and the proposed alignments of Chinook and Métis Trail.

With these additional lands being added into the Plan boundary it means that new land owners will need to be included into the process. Within this component of the Plan a table documenting the property owner, the legal land description, and the total number of acres must be included. It will also be required that copies of all titles be appended to the Plan, and within the document there shall be a section that addresses any restrictive covenants. A description of landowner expectations in relation to such covenants should also be provided.





A map showing the new Plan boundaries of this ASP are found in Figure 1 below:

Figure 1

### Area Structure Plan Area



**Legend**

-  Oil / Gas Wells
-  Pipe Line
-  Plan Area
-  Hydrology

## Waterbridge and Extension



Within the development area of the plan there are a number of other maps and associated textual sections that need to be included within the Plan. They are as follows:

- A map showing the regional context.
- A contour map showing contours at 2 meter intervals.
- A natural features map: This map will need to illustrate any natural drainage areas, wetlands, significant vegetation, steep slopes etc. The textual review associated with this map should focus on any important findings from the essential studies or reports which identified these important natural features.
- Physical constraints map: This map will need to show known constraints such as the electrical power station and the wells and pipelines which are shown on Figure 1. Findings from the essential studies and engineering reports that are required for all ASP's must also be shown on this map. A textual review and summary explaining the map will need to form part of this section of the Plan.

## **Development Plan**

Within this component of the Plan the strategy for development within the Plan area needs to be articulated. An overall vision of the area should be established to help set the tone for the Plan goals and objectives.

### Plan Goals and Objectives:

Goal 1: To provide for a variety of daily needs locally by incorporating a mix of land uses, including: residential, local commercial, recreational and institutional uses.

Objectives:

- Provide 2 to 4 acres of local commercial within the plan area.
- Create community nodes which will be focused around mixed use development
- Locate church sites and other institutional uses within community nodes



Goal 2: To make various transportation options convenient and efficient for residents, and encourage active transportation modes by enhancing the permeability and connectivity within the community.

Objectives:

- Use a modified grid pattern for the neighbourhood design.
- Have shorter blocks to allow permeability and connectivity for pedestrians, cyclists, and vehicular traffic moving through the neighbourhoods.
- Have no greater than 30 percent of the net developable land to be utilized for road right-of- ways.
- Provide multiple access points to the arterial road network to eliminate congestion points, while still allowing for the progression of traffic.
- Work with City Transportation to determine suitable alternative arterial intersection spacing along Métis Trail, which is less than the current City Standard (detailed traffic analysis will be required).
- Locate medium and higher density forms of housing in community nodes to support transit and encourage people to walk to neighbourhood commercial.

Goal 3:

To develop two inclusive communities that include a range of socio-economic households by providing a range of housing types from low density single-family homes to medium and higher density multi-family residential housing forms.

Objectives:

- Provide a full spectrum of housing forms and provide starter, move-up and executive homes.
- Pre-designate lots for secondary suite opportunities and strategically place them in areas of the community which would be appropriate for concentrations of density.

Goal 4:

Provide a safe and convenient network of pathways and open spaces.

Objectives:

- Create a network of pathways that are connected to open spaces or destination points within the communities such as the neighbourhood nodes.
- Use Municipal Reserve dedication to provide passive and active recreation opportunities for the future residents of these neighbourhoods.
- Create open spaces which encourage community gathering through the type of amenities being offered and the central location of the open space.

#### Goal 5:

To incorporate natural green and engineered green aspects of the stormwater management system into the open space plan.

#### Objectives:

- Preserve and enhance natural wetlands located within the plan area and incorporate them into the stormwater management system.
- Work with Alberta Environment to ensure compliance with the Provincial Wetland Policy.

#### Goal 6:

To foster a sense of neighbourhood through the emphasis of activity nodes which promote social activities and interaction.

#### Objectives:

- Create linkages between community nodes by building corridors along arterials or collectors where housing product can front or address the street (e.g. Window Street).
- Within community nodes create activity areas within public areas such as squares or other public gathering areas.

#### Land Use Concept

Following the vision, goals, and objectives section of the Plan will be the Land Use Concept. A map showing the concept must be included, and needs to provide enough detail to allow for approximate land use calculations. The calculations must provide information with regards to the gross developable land, as well as, the net developable land; in the case that ER is taken. Calculations should be shown in hectares and in acres. To help encourage the more efficient use of land in Lethbridge and conform to the policy direction of the ICSP/MDP the density target for this Plan shall be greater than 18 net developable units per hectare (7.3 units per acre), but less

than 22 net developable units per hectare (8.9 units per acre). A population projection should also be included in this section of the document and should include school age population.

An overview of the land use concept will need to form part of this section of the document and policies will need to accompany each land use overview. The policies will need to derive direction from the vision, goals, and objectives as well as the findings from the essential studies and engineering reports. Policies must also reference the policy context stipulated in this term of reference.

Within the land use concept section of the document it will also be required that a number of maps illustrating important concepts be included. General textual reviews will need to accompany the maps. More engineering detail will be appended to the Plan under separate cover reports and studies. The following maps and associated textual reviews are listed below:

1. Servicing and utilities – a series of maps showing general location of mains and other infrastructure such as storm water ponds.
  - A storm water concept map
  - A water concept map
  - A sanitary sewer concept map
  - A fire response modeling map
2. Transportation network concept map - Staging of the system for neighbourhood development should be illustrated. The Arterial and collector network should be shown at this level of planning. Transit information should be included.
3. Schools, park and open space concept map – Locations and sequence of development should be addressed.
4. Phasing concept map – This map and textual review should detail the logical outline plan boundaries, and in what sequence of development these plans should take place.

### **Proposed City of Lethbridge ASP Process**

The plan should follow the proposed City of Lethbridge ASP Process. This process stipulates the planning process that should occur and ensures that adequate public consultation is addressed.

# B Appendix B – Titles





LAND TITLE CERTIFICATE

S  
LINC                      SHORT LEGAL                      TITLE NUMBER  
0012 906 673            4;22;8;15;NE                      081 073 188

LEGAL DESCRIPTION  
MERIDIAN 4 RANGE 22 TOWNSHIP 8  
SECTION 15  
QUARTER NORTH EAST  
EXCEPTING THEREOUT ALL MINES AND MINERALS  
AREA: 64.7 HECTARES (159.88 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE

MUNICIPALITY: CITY OF LETHBRIDGE

REFERENCE NUMBER: 081 017 656

---

REGISTERED OWNER(S)				
REGISTRATION	DATE(DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
081 073 188	26/02/2008	TRANSFER OF LAND	\$3,200,000	NOMINAL

---

OWNERS

THE CITY OF LETHBRIDGE.  
OF 910 - 4TH AVENUE SOUTH, LETHBRIDGE,  
ALBERTA T1J 0P6

---

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION	DATE (D/M/Y)	PARTICULARS
NUMBER		
751 003 261	14/01/1975	UTILITY RIGHT OF WAY GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY LIMITED. "W 20' OF THE E 53' & THE S 20' OF THE N 130' OF THE E 33' BY 761075041"

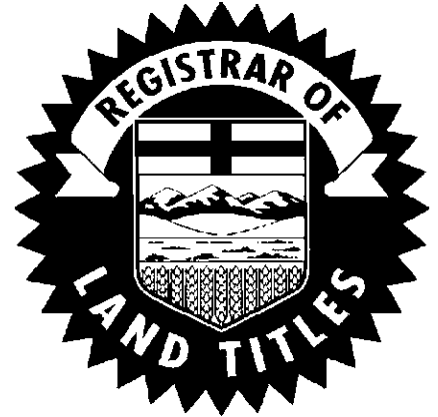
( CONTINUED )

TOTAL INSTRUMENTS: 001

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE  
REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED  
HEREIN THIS 27 DAY OF MARCH, 2012 AT 04:21 P.M.

ORDER NUMBER:20901284

CUSTOMER FILE NUMBER: 1154



\*END OF CERTIFICATE\*

---

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE  
SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS  
SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM  
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR  
OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL  
PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR  
THE BENEFIT OF CLIENT(S).



LAND TITLE CERTIFICATE

S  
LINC                      SHORT LEGAL                      TITLE NUMBER  
0022 111 843            4;22;8;14;NW                      751 130 428 D .

LEGAL DESCRIPTION  
MERIDIAN 4 RANGE 22 TOWNSHIP 8  
SECTION 14  
QUARTER NORTH WEST  
EXCEPTING THEREOUT ALL MINES AND MINERALS  
AREA: 64.7 HECTARES (160 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE

MUNICIPALITY: CITY OF LETHBRIDGE

-----  
REGISTERED OWNER(S)  
REGISTRATION      DATE(DMY)      DOCUMENT TYPE      VALUE      CONSIDERATION  
-----  
751 130 428      19/11/1975                      \$160,000

OWNERS

THE CITY OF LETHBRIDGE.  
OF LETHBRIDGE  
ALBERTA

-----  
ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION  
NUMBER      DATE (D/M/Y)      PARTICULARS  
-----  
751 003 083      14/01/1975      UTILITY RIGHT OF WAY  
GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY  
LIMITED.  
"DISCHARGED EXCEPT 20 FT. STRIP BY INSTRUMENT  
761071193, 04 06 1976"

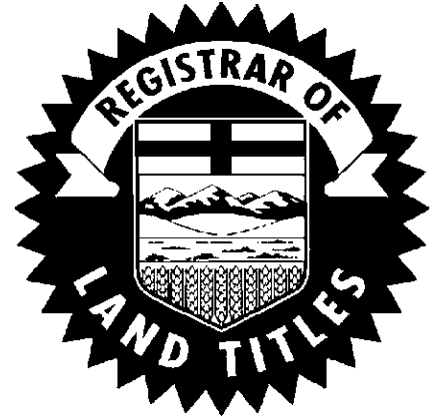
( CONTINUED )

TOTAL INSTRUMENTS: 001

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE  
REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED  
HEREIN THIS 27 DAY OF MARCH, 2012 AT 04:21 P.M.

ORDER NUMBER:20901284

CUSTOMER FILE NUMBER: 1154



\*END OF CERTIFICATE\*

---

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE  
SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS  
SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM  
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR  
OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL  
PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR  
THE BENEFIT OF CLIENT(S).





LAND TITLE CERTIFICATE

S  
LINC                                      SHORT LEGAL                                      TITLE NUMBER  
0034 878 066                                      4;22;8;23;SW                                      111 186 538 +1

LEGAL DESCRIPTION

THE SOUTH WEST QUARTER OF SECTION TWENTY THREE (23)  
TOWNSHIP EIGHT (8)  
RANGE TWENTY TWO (22)  
WEST OF THE FOURTH MERIDIAN  
CONTAINING 64.7 HECTARES (160 ACRES) MORE OR LESS  
EXCEPTING THEREOUT

PLAN	NUMBER	HECTARES	ACRES
SUBDIVISION	7710684	7.99	19.74
SUBDIVISION	7911317	5.26	12.99
SUBDIVISION	8910881	0.702	1.74
SUBDIVISION	1012889	0.182	0.45
ROAD	1112320	0.164	0.41

EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE

MUNICIPALITY: CITY OF LETHBRIDGE

REFERENCE NUMBER: 101 218 536 +1

---

REGISTERED OWNER(S)				
REGISTRATION	DATE(DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
111 186 538	22/07/2011	ROAD PLAN		

---

OWNERS

THE CITY OF LETHBRIDGE.  
OF 910 - 4TH AVENUE SOUTH, LETHBRIDGE,  
ALBERTA T1J 0P6

( CONTINUED )

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2  
# 111 186 538 +1

REGISTRATION  
NUMBER DATE (D/M/Y) PARTICULARS

891 124 106 30/06/1989 CAVEAT  
RE : DEFERRED RESERVE  
CAVEATOR - THE CITY OF LETHBRIDGE.  
CITY HALL  
  
910 4 AVENUE SOUTH  
LETHBRIDGE  
ALBERTA

TOTAL INSTRUMENTS: 001

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE  
REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED  
HEREIN THIS 27 DAY OF MARCH, 2012 AT 04:21 P.M.

ORDER NUMBER:20901284

CUSTOMER FILE NUMBER: 1154



\*END OF CERTIFICATE\*

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE  
SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS  
SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM  
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR  
OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL  
PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR  
THE BENEFIT OF CLIENT(S).



LAND TITLE CERTIFICATE

S  
LINC                                      SHORT LEGAL                                      TITLE NUMBER  
0034 844 712                                      4;22;8;14;NE                                      111 153 619 +3

LEGAL DESCRIPTION

MERIDIAN 4    RANGE 22    TOWNSHIP 8  
SECTION 14  
QUARTER NORTH EAST  
CONTAINING 64.7 HECTARES( 160 ACRES) MORE OR LESS  
EXCEPTING THEREOUT:

PLAN	NUMBER	HECTARES	(ACRES) MORE OR LESS
SUBDIVISION	0514137	1.555	3.84
SUBDIVISION	0514150	14.040	34.69
SUBDIVISION	0514162	7.583	18.74
SUBDIVISION	0811402	0.103	0.25
SUBDIVISION	0812285	5.545	13.70
SUBDIVISION	0911396	0.280	0.69
ROAD	1010289	1.57	3.88
SUBDIVISION	1010942	4.13	10.21
SUBDIVISION	1012954	4.912	12.1
ROAD	1013789	4.569	11.3
SUBDIVISION	1112039	3.048	7.53

EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE

MUNICIPALITY: CITY OF LETHBRIDGE

REFERENCE NUMBER: 101 303 743 +1

---

REGISTERED OWNER(S)

REGISTRATION	DATE(DMY)	DOCUMENT	TYPE	VALUE	CONSIDERATION
--------------	-----------	----------	------	-------	---------------

---

111 153 619                      20/06/2011 SUBDIVISION PLAN

OWNERS

THE CITY OF LETHBRIDGE.  
OF LETHBRIDGE  
ALBERTA

( CONTINUED )

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2  
# 111 153 619 +3

REGISTRATION  
NUMBER            DATE (D/M/Y)            PARTICULARS

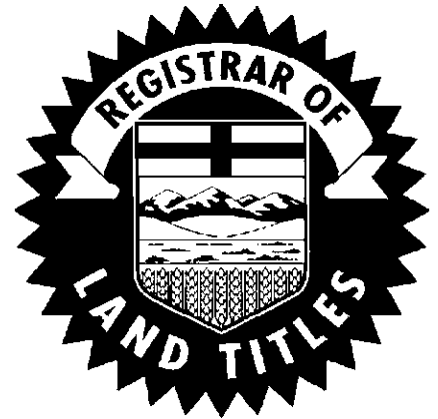
NO REGISTRATIONS

TOTAL INSTRUMENTS: 000

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE  
REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED  
HEREIN THIS 27 DAY OF MARCH, 2012 AT 04:21 P.M.

ORDER NUMBER:20901284

CUSTOMER FILE NUMBER: 1154



\*END OF CERTIFICATE\*

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE  
SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS  
SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM  
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR  
OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL  
PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR  
THE BENEFIT OF CLIENT(S).



LAND TITLE CERTIFICATE

S  
LINC                      SHORT LEGAL                      TITLE NUMBER  
0034 878 059            4;22;8;23;NW            111 186 538

LEGAL DESCRIPTION

MERIDIAN 4 RANGE 22 TOWNSHIP 8  
SECTION 23  
QUARTER NORTH WEST  
CONTAINING 64.7 HECTARES (160 ACRES) MORE OR LESS  
EXCEPTING THEREOUT:

PLAN	NUMBER	HECTARES	ACRES	MORE OR LESS
SUBDIVISION	7710684		52.32	
REPLOTTING SCHEME	7710705		0.06	
REPLOTTING SCHEME	7710882		71.57	
REPLOTTING SCHEME	7810431		9.01	
SUBDIVISION	0814827	0.101	0.25	
ROAD	1112320	3.477	8.59	

EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE

MUNICIPALITY: CITY OF LETHBRIDGE

REFERENCE NUMBER: 081 411 298 +47

-----  
REGISTERED OWNER(S)  
REGISTRATION      DATE(DMY)      DOCUMENT TYPE      VALUE      CONSIDERATION  
-----

111 186 538      22/07/2011      ROAD PLAN

OWNERS

THE CITY OF LETHBRIDGE.  
OF 910 - 4TH AVENUE S., LETHBRIDGE  
ALBERTA T1J 0P6

( CONTINUED )

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2  
# 111 186 538

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

741 003 252 10/01/1974 CAVEAT  
RE : DEFERRED RESERVE  
CAVEATOR - THE OLDMAN RIVER REGIONAL PLANNING  
COMMISSION.

771 055 709 04/05/1977 CAVEAT  
RE : DEFERRED RESERVE  
CAVEATOR - THE OLDMAN RIVER REGIONAL PLANNING  
COMMISSION.

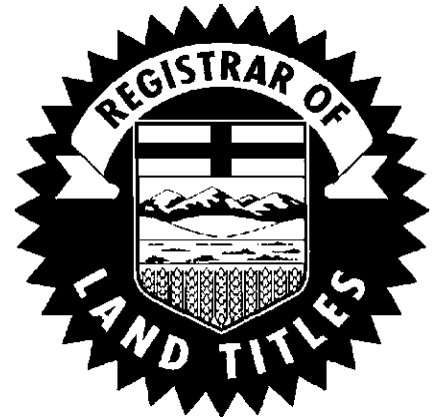
071 444 489 05/09/2007 UTILITY RIGHT OF WAY  
GRANTEE - THE CITY OF LETHBRIDGE.  
910 - 4TH AVE. SOUTH, LETHBRIDGE  
ALBERTA  
AS TO PORTION OR PLAN:0714451  
UR/W "C"

TOTAL INSTRUMENTS: 003

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE  
REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED  
HEREIN THIS 27 DAY OF MARCH, 2012 AT 04:21 P.M.

ORDER NUMBER:20901284

CUSTOMER FILE NUMBER: 1154



\*END OF CERTIFICATE\*

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE  
SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS  
SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM  
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR  
OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL  
PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR  
THE BENEFIT OF CLIENT(S).



LAND TITLE CERTIFICATE

S  
LINC                                  SHORT LEGAL                                  TITLE NUMBER  
0034 394 973                          1012889;1;2PUL                                  101 218 536

LEGAL DESCRIPTION  
PLAN 1012889  
BLOCK 1  
LOT 2PUL (PUBLIC UTILITY LOT)  
EXCEPTING THEREOUT ALL MINES AND MINERALS  
AREA: 0.884 HECTARES (2.18 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE  
ATS REFERENCE: 4;22;8;23;SW

MUNICIPALITY: CITY OF LETHBRIDGE

REFERENCE NUMBER: 891 124 105 +1  
891 124 105

-----  
REGISTERED OWNER(S)  
REGISTRATION      DATE(DMY)      DOCUMENT TYPE      VALUE      CONSIDERATION  
-----  
101 218 536      22/07/2010      SUBDIVISION PLAN

OWNERS  
  
THE CITY OF LETHBRIDGE.  
OF 910 - 4TH AVE. SOUTH, LETHBRIDGE  
ALBERTA

-----  
ENCUMBRANCES, LIENS & INTERESTS  
  
REGISTRATION  
NUMBER      DATE (D/M/Y)      PARTICULARS  
-----

NO REGISTRATIONS

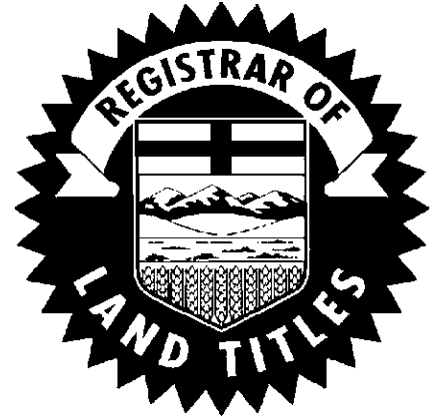
( CONTINUED )

TOTAL INSTRUMENTS: 000

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE  
REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED  
HEREIN THIS 27 DAY OF MARCH, 2012 AT 04:21 P.M.

ORDER NUMBER:20901284

CUSTOMER FILE NUMBER: 1154



\*END OF CERTIFICATE\*

---

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE  
SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS  
SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM  
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR  
OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL  
PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR  
THE BENEFIT OF CLIENT(S).





LAND TITLE CERTIFICATE

S  
LINC                      SHORT LEGAL                      TITLE NUMBER  
0034 199 471            4;22;8;23;SE                      101 017 493

LEGAL DESCRIPTION

MERIDIAN 4 RANGE 22 TOWNSHIP 8  
SECTION 23  
QUARTER SOUTH EAST  
CONTAINING 64.7 HECTARES (160 ACRES) MORE OR LESS  
EXCEPTING THEREOUT:

PLAN	NUMBER	HECTARES	ACRES
SUBDIVISION	7710684	0.615	1.52
SUBDIVISION	7911317	39.7	98.19
SUBDIVISION	9111700	15.31	37.8
SUBDIVISION	0010942	0.951	2.35
SUBDIVISION	0012775	0.129	0.32
SUBDIVISION	0514137	6.145	15.18
SUBDIVISION	0514150	0.821	2.03
ROAD	1010289	0.071	0.18

EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE

MUNICIPALITY: CITY OF LETHBRIDGE

REFERENCE NUMBER: 051 462 293 +3

-----  
REGISTERED OWNER(S)  
REGISTRATION      DATE(DMY)      DOCUMENT TYPE      VALUE      CONSIDERATION  
-----

101 017 493      18/01/2010      ROAD PLAN

OWNERS

THE CITY OF LETHBRIDGE.  
OF 910 - 4TH AVENUE S., LETHBRIDGE  
ALBERTA T1J 0P6

( CONTINUED )

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2  
# 101 017 493

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
------------------------	--------------	-------------

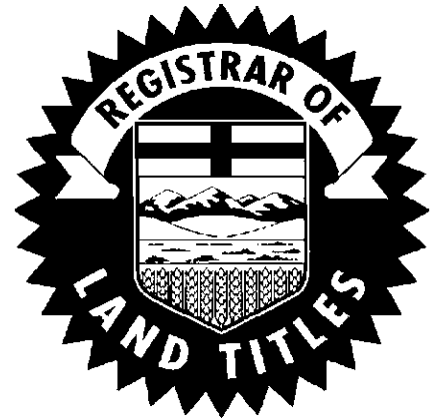
NO REGISTRATIONS

TOTAL INSTRUMENTS: 000

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE  
REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED  
HEREIN THIS 28 DAY OF MARCH, 2012 AT 04:01 P.M.

ORDER NUMBER:20910007

CUSTOMER FILE NUMBER: 1154



\*END OF CERTIFICATE\*

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE  
SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS  
SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM  
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR  
OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL  
PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR  
THE BENEFIT OF CLIENT(S).



LAND TITLE CERTIFICATE

S  
LINC                      SHORT LEGAL                      TITLE NUMBER  
0022 111 868            4;22;8;15;NW                      831 077 927

LEGAL DESCRIPTION  
MERIDIAN 4 RANGE 22 TOWNSHIP 8  
SECTION 15  
QUARTER NORTH WEST  
EXCEPTING THEREOUT ALL MINES AND MINERALS  
AREA: 64.7 HECTARES (160 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE

MUNICIPALITY: CITY OF LETHBRIDGE

REGISTERED OWNER(S)				
REGISTRATION	DATE(DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
831 077 927	02/05/1983		\$240,000	

OWNERS

JENNY ANN SKINNER

AND

BEVERLY GAY SKINNER (LEDGER KEEPER)

AND

SHARON HUBBARD (HOUSEWIFE)

ALL OF:

BOX 576

LETHBRIDGE

ALBERTA

ALL AS JOINT TENANTS

( CONTINUED )

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2  
# 831 077 927

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

981 294 869 24/09/1998 CAVEAT  
RE : SURFACE LEASE UNDER 20 ACRES  
CAVEATOR - BONAVISTA PETROLEUM LTD..  
P.O. BOX 22192,BANKERS HALL POSTAL OUTLET  
CALGARY  
ALBERTA T2P4H5  
(DATA UPDATED BY: TRANSFER OF CAVEAT  
011228042)  
(DATA UPDATED BY: TRANSFER OF CAVEAT  
041186908)

981 356 450 16/11/1998 UTILITY RIGHT OF WAY  
GRANTEE - BONAVISTA PETROLEUM LTD..  
P.O. BOX 22192,BANKERS HALL POSTAL OUTLET  
CALGARY  
ALBERTA T2P4H5  
"RE-ENTERED 30/03/01 BY 011084942"  
(DATA UPDATED BY: TRANSFER OF UTILITY RIGHT  
OF WAY 011251218)  
(DATA UPDATED BY: TRANSFER OF UTILITY RIGHT  
OF WAY 041220522)  
(DATA UPDATED BY: 051213668 )

001 162 340 15/06/2000 CAVEAT  
RE : RIGHT OF WAY AGREEMENT  
CAVEATOR - BONAVISTA PETROLEUM LTD..  
P O BOX 22192  
BANKERS HALL  
CALGARY  
ALBERTA T2P4H5  
AGENT - JUSTIN EDWARDS

011 085 073 30/03/2001 DISCHARGE OF UTILITY RIGHT OF WAY 981356450  
PARTIAL  
SEE INSTRUMENT  
(DATA UPDATED BY: 051213680 )

011 278 005 21/09/2001 CAVEAT  
RE : UTILITY RIGHT OF WAY  
CAVEATOR - BONAVISTA PETROLEUM LTD..  
P.O. BOX 22192, BANKER'S HALL  
CALGARY  
ALBERTA T2P4H5  
AGENT - EDWARDS LAND SERVICES LTD.

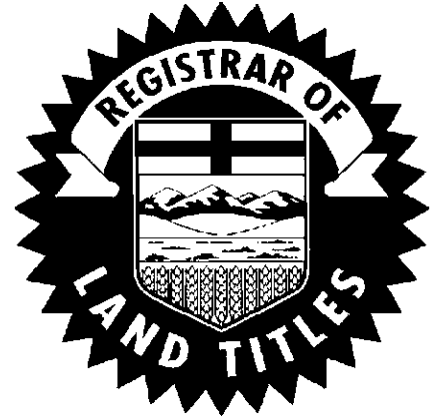
( CONTINUED )

TOTAL INSTRUMENTS: 005

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE  
REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED  
HEREIN THIS 27 DAY OF MARCH, 2012 AT 04:21 P.M.

ORDER NUMBER:20901284

CUSTOMER FILE NUMBER: 1154



\*END OF CERTIFICATE\*

---

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE  
SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS  
SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM  
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR  
OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL  
PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR  
THE BENEFIT OF CLIENT(S).



LAND TITLE CERTIFICATE

S  
LINC                      SHORT LEGAL                      TITLE NUMBER  
0012 906 681            4;22;8;22;SW            071 057 574

LEGAL DESCRIPTION  
MERIDIAN 4 RANGE 22 TOWNSHIP 8  
SECTION 22  
QUARTER SOUTH WEST  
EXCEPTING THEREOUT ALL MINES AND MINERALS  
AREA: 64.7 HECTARES (159.88 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE

MUNICIPALITY: CITY OF LETHBRIDGE

REFERENCE NUMBER: 041 151 322

---

REGISTERED OWNER(S)				
REGISTRATION	DATE(DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
071 057 574	05/02/2007	TRANSFER OF LAND	\$600,000	SEE INSTRUMENT

---

OWNERS

STEVE DENECKY  
OF RR8, SITE 21, COMP 16  
LETHBRIDGE  
ALBERTA T1J 4P4  
AS TO AN UNDIVIDED 4/9 INTEREST

NICK DENECKY  
OF 4005 - 10 STREET WEST  
LETHBRIDGE  
ALBERTA T1J 4S8  
AS TO AN UNDIVIDED 4/9 INTEREST

MARY WESTRUP  
OF 651 DUNDAR CRESCENT  
CORNWALL  
ONTARIO K6H 6L1  
AS TO AN UNDIVIDED 1/9 INTEREST

( CONTINUED )

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2  
# 071 057 574

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

791 209 239 11/12/1979 UTILITY RIGHT OF WAY  
GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY  
LIMITED.

981 356 451 16/11/1998 UTILITY RIGHT OF WAY  
GRANTEE - BONAVIDA PETROLEUM LTD..  
P.O. BOX 22192, BANKERS HALL POSTAL OUTLET  
CALGARY  
ALBERTA T2P4H5  
"RE-ENTERED 30/03/01 BY 011084942"  
(DATA UPDATED BY: TRANSFER OF UTILITY RIGHT  
OF WAY 011251218)  
(DATA UPDATED BY: TRANSFER OF UTILITY RIGHT  
OF WAY 041220522)

011 085 074 30/03/2001 DISCHARGE OF UTILITY RIGHT OF WAY 981356451  
PARTIAL  
SEE INSTRUMENT

TOTAL INSTRUMENTS: 003

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE  
REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED  
HEREIN THIS 27 DAY OF MARCH, 2012 AT 04:21 P.M.

ORDER NUMBER: 20901284

CUSTOMER FILE NUMBER: 1154



\*END OF CERTIFICATE\*

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE  
SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS  
SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM  
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR  
OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL  
PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR  
THE BENEFIT OF CLIENT(S).



LAND TITLE CERTIFICATE

S  
LINC                      SHORT LEGAL                      TITLE NUMBER  
0012 906 665            4;22;8;22;;1,2            871 199 932 A .

LEGAL DESCRIPTION  
MERIDIAN 4 RANGE 22 TOWNSHIP 8  
SECTION 22  
LEGAL SUBDIVISIONS 1 AND 2  
EXCEPTING THEREOUT ALL MINES AND MINERALS  
AREA: 32.4 HECTARES (80.06 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE

MUNICIPALITY: CITY OF LETHBRIDGE

---

REGISTERED OWNER(S)				
REGISTRATION	DATE(DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
871 199 932	30/10/1987			\$55,000

---

OWNERS

COLLEGE FARMS LTD.  
OF R 9,SITE 2,COMP 6  
LETHBRIDGE  
ALBERTA T1J 4R9  
(DATA UPDATED BY: CHANGE OF ADDRESS 021126299)

---

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
751 003 261	14/01/1975	UTILITY RIGHT OF WAY GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY LIMITED. "WEST 20' OF THE EAST 53' BY #761075041 LSD 1"

( CONTINUED )



TOTAL INSTRUMENTS: 001

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE  
REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED  
HEREIN THIS 27 DAY OF MARCH, 2012 AT 04:21 P.M.

ORDER NUMBER:20901284

CUSTOMER FILE NUMBER: 1154



\*END OF CERTIFICATE\*

---

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE  
SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS  
SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM  
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR  
OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL  
PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR  
THE BENEFIT OF CLIENT(S).

# C Appendix C – Historical Resources Clearance Letter



**Government of Alberta** ■  
Culture and Community Spirit

Historic Resources Management  
Old St. Stephen's College  
8820 - 112 Street  
Edmonton, Alberta T6G 2P8  
Canada  
Telephone: 780-431-2300  
[www.culture.alberta.ca/hrm](http://www.culture.alberta.ca/hrm)

November 18, 2009

Project File: 4840-115  
SUNRIDGE B AREA STRUCTURE PLAN

Mr. Paul Mercer  
Brown & Associates Planning Group  
Suite 600, 222 - 58<sup>th</sup> Avenue SW  
Calgary, Alberta  
T2H 2S3

Dear Mr. Mercer:

**SUBJECT: CITY OF LETHBRIDGE  
AGENT BEING BROWN & ASSOCIATES PLANNING GROUP  
SUNRIDGE B AREA STRUCTURE PLAN  
PORTIONS OF SECTIONS 14 & 23, TOWNSHIP 8, RANGE 22, W4M  
HISTORICAL RESOURCES ACT REQUIREMENTS**

Lifeways of Canada Ltd. has provided the Historic Resources Management Branch (HRMB) of Alberta Culture and Community Spirit with a "Historical Resources Overview" that describes the City of Lethbridge's proposed development plans with regard to the SUNRIDGE B AREA STRUCTURE PLAN.

*Listing of Historic Resources*

Staff of the HRMB has confirmed that lands included within the SUNRIDGE B AREA STRUCTURE PLAN are not listed within the *Listing of Historic Resources*.

**Historic Resources Potential Evaluation**

The entire project area has been previously cultivated. There are no known sites and the area is crossed by a historic trail. Although the consultants concerns for the existence of potential sediment traps containing historic resources is not unfounded, the likelihood of development disturbance of significant historic resources is low. Based on this evaluation, the HRMB has determined that a historic resources impact assessment is not required.

***HISTORICAL RESOURCES ACT REQUIREMENTS***

**Reporting the discovery of historic resources**

Please be aware, pursuant to Section 31 of the *Historical Resources Act*, should any historic resources be encountered during subdivision development activities, please contact George Chalut at (780) 431-2329, (Historic Resources Management Branch, Alberta Culture and Community Spirit, 8820 - 112 Street, Edmonton, Alberta, T6G 2P8), fax (780) 422-3106 or e-mail [george.chalut@gov.ab.ca](mailto:george.chalut@gov.ab.ca). It will then be necessary for the HRMB to issue further instructions regarding the documentation of these resources.

.../2

**Alberta** ■

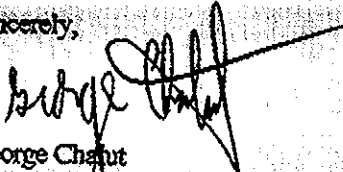
Freedom To Create. Spirit To Achieve.

Mr. Paul Mercer  
November 18, 2009  
Page 2

Project File: 4840-115

Should you require additional information or have any questions concerning the above, please contact George Chalut, (Southeast Region, Land Use Planner, Land Use Planning Section, Historic Resources Management Branch, 8820 - 112 Street, Edmonton, Alberta, T6G 2P8); telephone 780-431-2329, fax 780-422-3106 or e-mail at [george.chalut@gov.ab.ca](mailto:george.chalut@gov.ab.ca).

Sincerely,



George Chalut  
Southeast Region, Land Use Planner  
Land Use Planning Section

HERITAGE RESOURCE MANAGEMENT

cc: City of Lethbridge  
Don Hanna, Lifeways of Canada Ltd.

## Application for *Historical Resources Act* Clearance

### Activity Administration

Date Received: January 16, 2012

HRM File: 4835-12-0010

**Purpose of Application:**     All New Lands                       Additional Lands                       No New Lands

**Project Category:**    Subdivisions (4835)

**Project Type:**

<input checked="" type="checkbox"/> Residential Subdivision	ESRI Shapefiles are attached
<input type="checkbox"/> Commercial Subdivision	(yes/no)
<input type="checkbox"/> Industrial Subdivision	Approximate Project Area (ha)    287.124
<input type="checkbox"/> Area Structure Plan / Outline Plan	Lot, Block, Plan
<input type="checkbox"/> Access Road	Other Reference Number
<input type="checkbox"/> Electrical / Utility	
<input type="checkbox"/> Water Supply Line	
<input type="checkbox"/> Sewage Line	
<input type="checkbox"/> Other	

**Project Identifier:**    City of Lethbridge Waterbridge and Extension

**Additional Identifier(s):**

<b>Key Contact:</b> Brian C Vivian	<b>Affiliation:</b> Lifeways of Canada Limited
<b>Address:</b> #105, 809 Manning Road NE	<b>City / Province:</b> Calgary, AB
<b>Postal Code:</b> T2E 7M9	<b>Phone:</b> (403) 730-9461
<b>E-mail:</b> vivian@lifewaysofcanada.com, claire@lifewaysofcanada.com	<b>Fax:</b> () -
	<b>Your File Number:</b>

Is the Proponent the same as the Key Contact?     Yes                       No                      If no, complete the following:

<b>Proponent:</b> City of Lethbridge -Real Estate and Land	<b>Contact Name:</b> Michael Kelly
<b>Address:</b> 910-4th Avenue South	<b>City / Province:</b> Lethbridge,, AB
<b>Postal Code:</b> T1J 0P6	<b>Phone:</b> (403) 320-3194
<b>E-mail:</b> Michael.Kelly@lethbridge.ca	<b>Fax:</b> () -


Proposed Development Area					Land Ownership			
MER	RGE	TWP	SEC	LSD List	FRH	SA	CU	CT
4	22	8	22	3, 4	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4	22	8	22	1, 2	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4	22	8	15	9, 10, 15, 16	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4	22	8	15	11, 12, 13, 14	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Listed Lands Affected						
MER	RGE	TWP	SEC	LSD	HRV	Category
4	22	8	15	9	5	a
4	22	8	15	10	5	a
4	22	8	15	11	5	a
4	22	8	15	11	5	a
4	22	8	15	12	5	a
4	22	8	15	12	5	a
4	22	8	15	13	5	a
4	22	8	15	14	5	a
4	22	8	15	15	5	a
4	22	8	15	16	5	a

**Comments:**

**Historical Resources Impact Assessment:**  
For archaeological resources:  
 Has a HRIA been conducted?       Yes       No      Permit Number (if applicable):  
For palaeontological resource:  
 Has a HRIA been conducted?       Yes       No

*Historical Resources Act* clearance is granted subject to Section 31 of the Resources Act, "a person who discovers an historic resource in the course of making an excavation for a purpose other than for the purpose of seeking historic resources shall forthwith notify the minister of the discovery". The chance discovery of historical resources is to be reported to the contacts identified within the listing.

  
 \_\_\_\_\_  
 Date

January 27, 2012